



**GREATER
DANDENONG**
City of Opportunity

MINUTES

COUNCIL MEETING

TUESDAY, 14 JUNE 2022
Commencing at 7:00 PM

COUNCIL CHAMBERS
225 Lonsdale Street, Dandenong VIC 3175

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1 MEETING OPENING

1.1 ATTENDANCE

Apologies

Cr Lana Formoso - Leave of Absence

Councillors Present

Cr Jim Memeti (Chairperson)

Cr Tim Dark, Cr Eden Foster, Cr Rhonda Garad, Cr Richard Lim OAM, Cr Angela Long, Cr Bob Milkovic, Cr Sean O'Reilly, Cr Sophie Tan, Cr Loi Truong.

Officers Present

John Bennie PSM, Chief Executive Officer, Brett Jackson, Acting Director City Planning, Design and Amenity, Tilla Buden, Acting Director Community Services, Kylie Sprague, Executive Manager Communications and Customer Service, Michelle Hansen, Executive Manager Finance and Information Technology, Dani Trimble, Acting Manager Governance.

1.2 ACKNOWLEDGEMENT OF TRADITIONAL OWNERS OF THE LAND

Council acknowledges the Traditional Owners and Custodians of this land, the Bunurong people and pay our respects to their Elders past, present and emerging while also recognising their deep and continuing connections to climate, culture and country.

We also pay our respect to all Aboriginal and Torres Strait Islander peoples and their Elders and acknowledge their journey.

1.3 OFFERING OF PRAYER, REFLECTION OR AFFIRMATION

All remained standing as Deputy Mayor, Cr Eden Foster read the following prayer, reflection or affirmation provided prior to the meeting by Mr Shamim Navidi from the Spiritual Assembly of the Baha'is Greater Dandenong, a member of the Greater Dandenong Interfaith Network.

" Oh my God! I ask Thee, by Thy most glorious Name to aid me in that which will cause the affairs of Thy servants to prosper, and Thy cities to flourish. Thou, indeed, hast power over all things!"

1.4 CONFIRMATION OF MINUTES OF PREVIOUS MEETING

Meeting of Council held 23 May 2022.

Recommendation

That the minutes of the Meeting of Council held 23 May 2022 be confirmed.

MINUTE 472

Moved by: Cr Tim Dark

Seconded by: Cr Bob Milkovic

That the minutes of the Meeting of Council held 23 May 2022 be confirmed.

CARRIED

1.5 DISCLOSURES OF INTEREST

Nil.

2 OFFICERS' REPORTS - PART ONE

2.1 DOCUMENTS FOR TABLING

2.1.1 Documents for Tabling

File Id: qA228025
Responsible Officer: Manager Governance

Report Summary

Council receives various documents such as annual reports and minutes of committee meetings that deal with a variety of issues that are relevant to the City.

These reports are tabled at Council Meetings and therefore brought to the attention of Council.

Recommendation Summary

This report recommends that the listed items be received.

2.1.1 Documents for Tabling (Cont.)

List of Reports

Author	Title
Local Government Culture Project	Insights Report May 2022
Lighthouse Foundation	Annual Report 2020-2021

A copy of each report is made available at the Council meeting or by contacting the Governance Unit on telephone 8571 5235.

Recommendation

That the listed items be received.

MINUTE 473

Moved by: Cr Angela Long
Seconded by: Cr Rhonda Garad

That the listed items be received.

CARRIED

2.1.2 Petitions and Joint Letters

File Id:	qA228025
Responsible Officer:	Manager Governance
Attachments:	Petitions and Joint Letters

Report Summary

Council receives a number of petitions and joint letters on a regular basis that deal with a variety of issues which have an impact upon the City.

Issues raised by petitions and joint letters will be investigated and reported back to Council if required.

A table containing all details relevant to current petitions and joint letters is provided in Attachment 1. It includes:

1. the full text of any petitions or joint letters received;
2. petitions or joint letters still being considered for Council response as pending a final response along with the date they were received; and
3. the final complete response to any outstanding petition or joint letter previously tabled along with the full text of the original petition or joint letter and the date it was responded to.

Note: On occasions, submissions are received that are addressed to Councillors which do not qualify as petitions or joint letters under Council's current Governance Rules. These are also tabled.

2.1.2 Petitions and Joint Letters (Cont.)

Petitions and Joint Letters Tabled

Council received no new petitions and no joint letters prior to the Council Meeting of 14 June 2022.

N.B: Where relevant, a summary of the progress of ongoing change.org petitions and any other relevant petitions/joint letters/submissions will be provided in the attachment to this report.

Recommendation

That this report and Attachment be received and noted.

MINUTE 474

Moved by: Cr Rhonda Garad

Seconded by: Cr Loi Truong

That this report and Attachment be received and noted.

CARRIED

2.1.2 Petitions and Joint Letters (Cont.)

DOCUMENTS FOR TABLING

PETITIONS AND JOINT LETTERS

ATTACHMENT 1

PETITIONS AND JOINT LETTERS

PAGES 6 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 1000.

2.1.2 Petitions and Joint Letters (Cont.)

Date Received	• Petition Text (Prayer)	No. of Petitioners	Status	Responsible Officer Response
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If the details of the attachment are unclear, please contact Governance on 8571 1000.

2.1.2 Petitions and Joint Letters (Cont.)

Date Received	<ul style="list-style-type: none"> Petition Text (Prayer) 	No. of Petitioners	Status	Responsible Officer Response
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2.2 STATUTORY PLANNING APPLICATIONS

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092)

File Id:	139405
Responsible Officer:	Director City Planning Design & Amenity
Attachments:	Att 1: Section 57A Amendment Plans Att 2: Location of Objectors Att 3: Clause 22.09 Assessment Att 4: Clause 52.06 Assessment Att 5: Clause 55 Assessment Att 6: Clause 56 Assessment

Application Summary

This application has been brought to a Council meeting as it has received two (2) objections.

The application proposes the development of the land for eight (8) double storey dwellings and the subdivision of the land into eight (8) lots.

A permit is required pursuant to:

- Clause 32.08-3 (General Residential Zone) to subdivide land; and
- Clause 32.08-6 (General Residential Zone) to construct two (2) or more dwellings on a lot.

Objectors Summary

The application was advertised to the surrounding area through the erection of a notice on-site and the mailing of notices to adjoining and surrounding owners and occupiers. Two (2) objections were received to the application. Issues raised generally relate to:

- Inadequate car parking;
- That the sightlines for vehicles exiting the driveway are inadequate;
- That waste collection will cause issues as a result of the number of dwellings proposed;
- That there is an ongoing issue with stormwater on the site and surrounding land, and that the proposal would exacerbate this; and
- Too many dwellings are proposed.

Assessment Summary

The site is located within an established residential area and is well suited for medium density housing given its zoning and location in an incremental change area. The proposal seeks to provide a medium housing density development which is generally consistent with the emerging pattern of development

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

and the surrounding neighbourhood character. It is noted that the development generally complies with the design principles of the applicable neighbourhood character policy as has been demonstrated in the attachments and outlined in this report or could do so via conditions.

The development is generally compliant with Clause 55 and Clause 56, responding to site context and site circumstances, while respecting the existing and preferred neighbourhood character envisaged by Clause 22.09.

Recommendation Summary

As assessed, officers consider this proposal to be generally compliant with all of the relevant provisions of the Greater Dandenong Planning Scheme. All grounds of objection have been considered, and Council Officers are of the view that on balance, the proposal's degree of compliance with the Planning Scheme justifies that the application should be supported. Therefore, it is recommended that a **Notice of Decision** (which provides appeal rights to objectors) to grant a permit be issued subject to the conditions as set out in the recommendation.

If the application was to be appealed to VCAT, it is the officer's view that it is highly likely that VCAT would also issue a planning permit for this proposal.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Subject Site and Surrounds

Subject Site

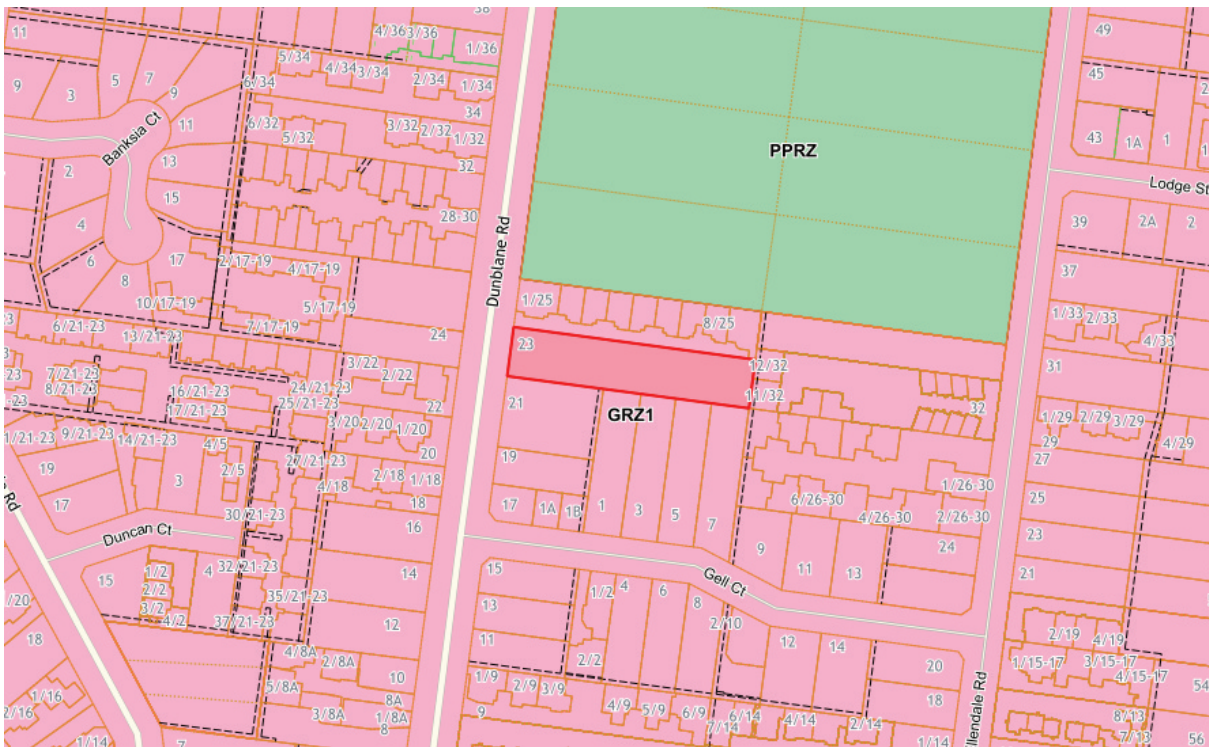
- The subject site is located to the east side of Dunblane Road.
- The site is rectangular in shape with a frontage of 20.12m, a depth of 100.58m and an overall site area of 2023.6sqm.
- The land is currently occupied by a single storey brick dwelling with an associated garage along the southern boundary accessible from Dunblane Road.
- There is no easement on the land.
- There are several trees located throughout the site. The trees to be removed are not significant to the area.

Surrounding Area

- The subject site is located within an established residential area of Noble Park.
- The built form in the area consists of a mix of older single storey detached dwellings, double-storey detached dwellings, single-storey multi-dwelling developments and double-storey multi-dwelling developments.
- The adjoining property to the north contains nine (9) double storey dwellings.
- The subject site adjoins five (5) properties on its southern boundary, each containing one (1) single storey dwelling. The land to the east contains twelve (12) single storey dwellings. The land opposite the site to the west contains one (1) single storey dwelling.
- The Noble Park Activity Centre and Train Station are located 500m to the southwest of the site.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Locality Plan



p Subject Site Melway Map 89G1 North é

An aerial map of the site and surrounding properties is provided below (April 2021):

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)



Background

Previous Applications

A search of Council records revealed no previous planning applications have been considered for the subject site.

Applications History

After the advertising process, a Section 57A Amendment was submitted in April 2022 to modify the development as follows:

- Provide a passing area at the front of the site by increasing the proposed driveway from 3.5m wide to 6.1m wide for a length of 7m.
- Alterations to Unit 1 to accommodate the passing area.

A copy of the Section 57A Amendment is included as Attachment 1.

Proposal

The application as per the Section 57A Amendment, proposes the development of the land for eight (8) double storey dwellings and the subdivision of the land into eight (8) lots.

The details of the proposal are as follows:

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Type of proposal	Multi dwellings																														
Number of dwellings	Eight (8)																														
Levels	All double storey																														
Height	The proposed development would have a maximum building height of 8.1 metres (Unit 7 – South elevation).																														
Orientated to	Unit 1 would be orientated to Dunblane Road. Units 2 to 8 orientated to the internal driveway.																														
External materials	Bricks and render on the ground floor. Light weight rendered finished on the first floor.																														
Minimum setbacks <i>(encompasses all dwellings)</i>	North: 2m (Unit 1). South: 5.18m (Units 2 to 8). East: 1.96m (Unit 8). West (frontage to Dunblane Road): 7.6m (Unit 1).																														
Open space type	<p>Each dwelling would be provided with a minimum of 50sqm of private open space with one part comprising secluded private open space with a minimum area of 30sqm and a minimum dimension of 5m.</p> <p>The areas of private open spaces for the dwellings are as follow (in square metres):</p> <table border="1"> <thead> <tr> <th></th> <th>Ground floor private open space (sqm)</th> <th>Ground floor secluded private open space (sqm)</th> <th>Total (sqm)</th> </tr> </thead> <tbody> <tr> <td>Unit 1</td> <td>95.4</td> <td>31.2</td> <td>126.6</td> </tr> <tr> <td>Unit 2</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 3</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 4</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 5</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 6</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> </tbody> </table>				Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)	Unit 1	95.4	31.2	126.6	Unit 2	N/A	50.6	50.6	Unit 3	N/A	50.6	50.6	Unit 4	N/A	50.6	50.6	Unit 5	N/A	50.6	50.6	Unit 6	N/A	50.6	50.6
	Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)																												
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2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<table border="1"> <tr> <td>Unit 7</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 8</td> <td>N/A</td> <td>103.5</td> <td>103.5</td> </tr> </table>	Unit 7	N/A	50.6	50.6	Unit 8	N/A	103.5	103.5																						
Unit 7	N/A	50.6	50.6																												
Unit 8	N/A	103.5	103.5																												
Number of Car parking Spaces provided	<p>A total of seventeen (17) car parking spaces would be provided for the dwellings.</p> <p>The following table set out the number of car spaces required and provided for each dwelling:</p> <table border="1"> <thead> <tr> <th>Unit number</th> <th>Number of car spaces required</th> <th>Number of car spaces provided</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2 (4 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>2</td> <td>2 (3 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>3</td> <td>2 (3 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>4</td> <td>2 (3 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>5</td> <td>2 (3 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>6</td> <td>2 (3 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>7</td> <td>2 (3 bedrooms)</td> <td>2 (single garage and tandem car space)</td> </tr> <tr> <td>8</td> <td>2 (4 bedrooms)</td> <td>2 (double garage)</td> </tr> <tr> <td>Visitor Space</td> <td>1</td> <td>1</td> </tr> </tbody> </table>	Unit number	Number of car spaces required	Number of car spaces provided	1	2 (4 bedrooms)	2 (single garage and tandem car space)	2	2 (3 bedrooms)	2 (single garage and tandem car space)	3	2 (3 bedrooms)	2 (single garage and tandem car space)	4	2 (3 bedrooms)	2 (single garage and tandem car space)	5	2 (3 bedrooms)	2 (single garage and tandem car space)	6	2 (3 bedrooms)	2 (single garage and tandem car space)	7	2 (3 bedrooms)	2 (single garage and tandem car space)	8	2 (4 bedrooms)	2 (double garage)	Visitor Space	1	1
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Visitor Space	1	1																													
Number of Car parking Spaces required	<p>One (1) car parking space is required for each one or two bedroom dwelling and two (2) car parking spaces is required for each three or more bedroom dwelling. One (1) common visitor parking space is required for every five (5) dwellings.</p>																														

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>A total of seventeen (17) car parking spaces are required, comprising sixteen (16) car spaces for the residents and one (1) visitor car space.</p> <p>The proposal would provide two (2) car space to each three or four bedroom dwelling with at least one (1) under cover car space.</p> <p>One (1) visitor car space is proposed.</p> <p>The number of car spaces provided for the residents and visitor comply with Clause 52.06 (Car parking).</p>
Type of car parking	Each dwelling is provided with at least one (1) under-cover car parking space.
Access	One (1) vehicle crossover would facilitate vehicular access to the dwellings comprising modification to the existing crossover on Dunblane Road. The crossover would be 6.1m wide. The driveway at the front of the site would also be 6.1m wide for a length of 7m to allow a passing area at the front of the site. This is due to the number of car spaces proposed on the site exceeding 10 car spaces and the accessway exceed 50m long.
Front Fence	A 1.2m high masonry pier & metal picket front fence is proposed.
Garden area required	708.26 square metres or 35%
Garden area provided	708.5 square metres or 35.1%

Victorian Charter of Human Rights and Responsibilities

All matters relevant to the Victorian Human Rights Charter have been considered in the preparation of this report and are consistent with the standards set by the Charter.

Financial Implications

No financial resources are impacted by this report.

Planning Scheme and Policy Frameworks

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required under:

- Clause 32.08-3 (General Residential Zone – Schedule 1) to subdivide land; and
- Clause 32.08-6 (General Residential Zone) to construct two (2) or more dwellings on a lot.

The relevant controls and policies are as follows:

Zoning Controls

The subject site is located in a General Residential Zone, as is the surrounding area.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

The purpose of the General Residential Zone outlined at Clause 32.08 is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Pursuant to Clause 32.08-3, a permit is required to subdivide land.

An application to subdivide land, other than an application to subdivide land into lots each containing an existing dwelling or car parking space, must meet the requirements of Clause 56 and:

- Must meet all of the objectives included in the clauses specified in the following table.
- For 3 to 15 lots subdivision, should meet all of the standards except Clauses 56.02-1, 56.03-1 to 56.03-4, 56.05-2, 56.06-1, 56.06-3 and 56.06-6.

Pursuant to Clause 32.08-6, a permit is required to construct two or more dwellings on a lot.

The development must also provide a minimum garden area of 35% pursuant to Clause 32.08-4 as the lot exceed 650 square metres.

It is noted that within Schedule 1 to the zone, varied requirements of Clause 55 are set out as follows:

- *Standard B6 (Minimum street setback) – As per B6 or 7.5 metres, whichever is the lesser;*
- *Standard B9 (Permeability) – Minimum of 30%;*
- *Standard B13 (Landscaping) – 70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees;*
- *Standard B28 (Private open space) – An area of 50 square metres of ground level, private open space, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres, and a minimum dimension of 5 metres and convenient access from a living room; or*

-A balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; or

-A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room;

- *Standard B32 (Front fence height) – Maximum 1.5 metre height in streets in a Transport Zone 2, 1.2 metre maximum height for other streets.*

Overlay Controls

No overlays affect the subject site or surrounding area.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Planning Policy Framework

The objectives of Planning in Victoria are outlined in Section 4 of the *Planning and Environment Act 1987* as:

- (a) To provide for the fair, orderly, economic and sustainable use, and development of land.*
- (b) To provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity.*
- (c) To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.*
- (d) To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.*
- (e) To protect public utilities and other facilities for the benefit of the community.*
- (f) To facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e).*
- (fa) to facilitate the provision of affordable housing in Victoria.*
- (g) To balance the present and future interests of all Victorians.*

In order to achieve those objectives, there are a number of more specific objectives contained within the Planning Policy Framework that are relevant to this application.

Clause 11 Settlement states that planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, amongst others.

Managing growth is the focus of **Clause 11.02** which includes an objective that aims to ensure a sufficient supply of land is available for residential development, which is relevant to the current application.

Clause 15 Built environment and heritage seeks to ensure that planning achieves high quality urban design and architecture that meets a number of objectives. The following objectives are of relevance to the current application:

- *To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*
- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*
- *To recognise, support and protect neighbourhood character, cultural identity, and sense of place.*
- *To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions.*

Housing is the focus of **Clause 16** and includes the following provisions:

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- *To facilitate well-located, integrated and diverse housing that meets community needs.*
- *To deliver more affordable housing closer to jobs, transport and services.*

There are a number of objectives of relevance to the current application under **Clause 18 Transport** including the following:

- *To create a safe and sustainable transport system by integrating land-use and transport.*
- *To promote the use of sustainable personal transport.*
- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

Local Planning Policy Framework

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies.

The MSS is contained within Clause 21 of the Scheme. The MSS at **Clause 21.02** focuses on the **Municipal Profile**, within which the following is noted:

- *There is considerable diversity within Greater Dandenong's housing stock. Most housing stock is aged between 30 to 50 years old, though there are some areas with dwellings in excess of 100 years old. Areas of newer housing are located in the north-east and central-southern areas, with in-fill development occurring across the municipality (Clause 21.02-3).*
- *Higher density housing is generally located in proximity to railway stations and major shopping centres, in particular in central Dandenong (Clause 21.02-3).*
- *Whilst there is a clear pre-dominance of single detached dwellings, there are a range of other types of dwellings including dual occupancies, villa-units, town houses and apartments. The highest concentration of older villa units and apartments and more recent multi-unit redevelopments have occurred around central Dandenong, Springvale and Noble Park activity centres (Clause 21.02-4).*
- *With diverse cultural groups that call Greater Dandenong home, there are certain distinct precincts that are emerging that have their own character. Their built form is characterised by buildings with flat unarticulated facades, prominent balconies, limited frontage/side setbacks, limited or no landscaping (Clause 21.02-4).*

A **Vision for Greater Dandenong** is outlined at **Clause 21.03**. The vision is that Greater Dandenong will be a municipality where housing diversity and choice is promoted in its various attractive neighbourhoods.

The objectives and strategies of the MSS are under four (4) main themes including: land use; built form; open space and natural environment; and, infrastructure and transportation (considered individually under Clauses 21.04 to 21.07). Of particular relevance to this application are Clauses 21.04 – Land Use and 21.05 – Built Form:

Clause 21.04-1 Housing and community

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- *Greater Dandenong's population is expected to rise by 22 percent, from 147,000 to 179,000 in the decade to 2024, placing pressure on transport networks, infrastructure, services and public open space.*
- *Approximately 9,950 new households will need to be accommodated across the municipality by 2024 (Greater Dandenong Housing Strategy 2014-2024).*
- *Supporting urban consolidation and providing housing in existing areas close to activity centres means that people do not need to travel as far to work, shop or to take part in sports/leisure activities thus reducing the environmental impacts of transport.*
- *Increases in housing density must be balanced by adequate provision of open space, good urban design and improvements to the public realm.*
- *Encourage the provision of housing that is adaptable to support the needs of the changing needs of present and future residents.*
- *Encourage innovative redevelopment and renewal of deteriorating housing stock and older styled higher-density apartments and multi-unit developments.*
- *Encourage new residential development that incorporates adequate space for the planting and the long term viability and safe retention of canopy trees.*
- *Respect the valued, existing neighbourhood character within incremental and minimal change areas.*
- *Requiring medium-density developments to be site and locality responsive and to respect existing and proposed neighbourhood character.*

Clause 21.05-1 – Urban design, character, streetscapes and landscapes – contains the following relevant objectives and strategies:

- *To facilitate high quality building design and architecture.*
 - *Ensure building design is consistent with the identified future character of an area and fully integrates with surrounding environment.*
 - *Encourage high standards of building design and architecture, which allows for flexibility and adaptation in use.*
 - *Encourage innovative architecture and building design.*
 - *Encourage development to incorporate sustainable design elements that enhance occupant comfort and environmental performance.*
- *To facilitate high quality development, which has regard for the surrounding environment and built form.*
 - *Promote views of high quality landscapes and pleasing vistas from both the public and private realm.*
 - *Promote all aspects of character – physical, environmental, social and cultural.*
 - *Encourage planting and landscape themes, which complement and improve the environment.*

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- *Encourage developments to provide for canopy trees.*
- *Recognising valued existing neighbourhood character and promoting identified future character as defined in the Residential Development and Neighbourhood Character Policy at Clause 22.09.*
- *To protect and improve streetscapes*
 - *Ensure that new developments improve streetscapes through generous landscape setbacks and canopy tree planting.*
 - *Ensure landscaping within private property that complements and improves the streetscapes and landscaping of public areas.*
- *To ensure landscaping that enhances the built environment*
 - *Encourage new developments to establish a landscape setting, which reflects the local and wider landscape character.*
 - *Encourage landscaping that integrates canopy trees and an appropriate mix of shrubs and ground covers and complements and integrates with existing or proposed landscaping in public areas.*

Clause 22.09 – Residential Development & Neighbourhood Character Policy – contains the following objectives at Clause 22.09-2:

- *To guide the location and design of different types of residential development within Greater Dandenong, having regard to State and local planning policies, while respecting the valued characteristics and identified future character of residential neighbourhoods.*
- *To ensure that new residential development is consistent with the identified future character and preferred built form envisaged for the three Future Change Areas.*
- *To provide certainty about which areas are identified for, or protected from, increased residential development consistent with the purpose of the applicable zone.*
- *To facilitate high quality, well designed residential development and on-site landscaping.*
- *To promote a range of housing types to accommodate the future needs of the municipality's changing population.*
- *To ensure that residential development uses innovative, responsive and functional siting and design solutions that:*
 - *Achieve high quality internal amenity and private open space outcomes for future residents;*
 - *Make a positive contribution to the streetscape through quality design, contextual responsiveness and visual interest;*
 - *Promote public realm safety by maximising passive surveillance.*
 - *Demonstrate responsiveness to the site, adjoining interfaces, streetscape and landscape context;*

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- *Respect the amenity of adjoining residents and the reasonable development potential of adjoining properties;*
- *Achieve environmentally sustainable design outcomes;*
- *Use quality, durable building materials that are integrated into the overall building form and façade; and*
- *Minimise the visual dominance of vehicle accessways and storage facilities, such as garages, car ports and basement entrances.*

Clause 22.09-3.1 (Design Principles) provides design principles, which apply to all Future Change Areas.

Clause 22.09-3.3 (Incremental Change Areas) provides design principles, some of which also relate to the variances to the requirements of standards to Clause 55 under the schedule to the General Residential Zone. The guidelines consider matters such as: housing form; height; bulk & built form; and site design.

An assessment against Clause 22.09 is included as Attachment 3 to this report.

Particular Provisions

Car Parking (Clause 52.06)

Clause 52.06 Car Parking needs to be considered to determine the appropriateness of the car parking provision of the development. The purpose of this Clause is:

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

The table at Clause 52.06-5 notes that a dwelling with 1 or 2 bedrooms requires 1 car space and a dwelling with 3 or more bedrooms requires 2 spaces to each dwelling. 1 visitor car space is required for visitors to every 5 dwellings for developments of 5 or more dwellings.

Clause 52.06-5 (Car parking – Number of car spaces required under Table 1) also requires that if in calculating the number of car parking spaces the result is not a whole number, the required number of car parking spaces is to be rounded down to the nearest whole number.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

A total of seventeen (17) car parking spaces are required comprising sixteen (16) car spaces for residents and one (1) visitor car space. Each three or four bedroom dwelling would be provided with two (2) car spaces with at least one (1) undercover car space. One (1) visitor car space is also provided.

Car parking is to be designed in accordance with the requirements of Clause 52.06-9 and 52.06-11 of the Scheme.

An assessment against Clause 52.06 is included as Attachment 4 to this report.

Public Open Space Contribution and Subdivision (Clause 53.01)

A person who proposes to subdivide land must make a contribution to the council for public open space in an amount specified in the schedule to this clause (being a percentage of the land intended to be used for residential, industrial or commercial purposes, or a percentage of the site value of such land, or a combination of both). If no amount is specified, a contribution for public open space may still be required under section 18 of the Subdivision Act 1988.

The required public open space contribution for the subdivision of land into eight (8) lots in Schedule 1 to Clause 53.01 is five (5%) percent.

Two or more dwellings on a lot and residential buildings (Clause 55)

Pursuant to Clause 55 of the Greater Dandenong Planning Scheme, the provisions of this Clause apply to an application:

- *To construct two or more dwellings on a lot.*

The purposes of this clause are:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

A development:

- *Must meet all of the objectives of this clause; and*
- *Should meet all of the standards of this clause.*

If a zone or a schedule to a zone specifies a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.

An assessment against Clause 55 is included as Attachment 5 to this report.

Residential Subdivision (Clause 56)

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

The purposes of this clause are:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To create liveable and sustainable neighbourhoods and urban places with character and identity.
- To achieve residential subdivision outcomes that appropriately respond to the site and its context for:
 - Metropolitan Melbourne growth areas.
 - Infill sites within established residential areas.
 - Regional cities and towns.
- To ensure residential subdivision design appropriately provides for:
 - Policy implementation.
 - Liveable and sustainable communities.
 - Residential lot design.
 - Urban landscape.
 - Access and mobility management. Integrated water management.
 - Site management.
 - Utilities.

An assessment against Clause 56 is included as Attachment 6 to this report.

General Provisions

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

Clause 66.01 – Subdivision Referrals needs to be considered, as is the case with all applications. An application to subdivide land must be referred to the relevant water, drainage, sewerage, electricity supply or distribution and gas supply authority.

Restrictive Covenants

Covenant 1152075 is recorded on the Certificate of Title to the land. The covenant prohibits the manufacturing or winning of bricks tiles or pottery ware.

The proposal development of the land for eight (8) double storey dwellings and subdivision of the land into eight (8) lots would not result in a breach of the covenant and the applicant has submitted a declaration to this effect.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Community Vision 2040 and Council Plan 2021-25 – Strategic Objectives, Strategies and Plans

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

Diversity (Access & Equity)

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

Community Safety

It is considered that there would be no adverse community safety implications in permitting the proposal.

Safe Design Guidelines

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

Referrals

External

The application was referred to the following external authorities pursuant to Section 55 of the Planning and Environment Act 1987.

External Referrals	
Country Fire Authority	No objections, subject to conditions on permit.
Melbourne Water	No objections.
South East Water	No objections, subject to conditions on permit.
United Energy	No objections, subject to conditions on permit.
Multinet Gas	No objections, subject to conditions on permit.

Internal

The application was internally referred to the following Council departments for their consideration. The comments provided have been considered in the assessment of the application.

Internal Referrals

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Civil Development	No objections, subject to conditions on permit.
Transport Planning	No objections, subject to conditions on permit.
Sustainability Planning	No objections, subject to conditions on permit.
Arborist	No objections, subject to conditions on permit.
Waste Management Services	No objections.

Advertising

The application has been advertised twice pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the land owners and occupiers of adjoining and surrounding land.
- Placing one (1) sign on site facing Dunblane Road.

The notification has been carried out correctly.

A total of two (2) objections have been received to date.

The locations of the objectors are shown in Attachment 2.

The Section 57A Amendment received in April 2022 was not advertised for the following reasons:

- The layout to Units 2 to 7 would not be altered.
- As a result of the vehicular passing area, the modification to the layout of Unit 1 would not reduce the setbacks of the dwelling from the adjoining properties.

Consultation

A consultative meeting was not held as less than four (4) objections were received.

Summary of Grounds of Submissions/Objections

The objections are summarised below (**bold**), followed by the Town Planner's Response (in *italics*).

- **Inadequate car parking**

The proposal would provide two (2) car spaces to each three or four bedroom dwelling with at least one (1) under cover car space.

The development comprises of eight (8) dwellings and requires one (1) visitor car space. One (1) visitor car space would be provided.

The number of car spaces provided for the residents and visitors complies with Clause 52.06 (Car parking).

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- **That the sightlines for vehicles exiting the driveway are not adequate**

The ground floor plan has annotated that the 2m x 2.5m splay at the entrance of the driveway would have a minimum 50% clear sight line at vehicle exit to maximum height of 1m above natural ground level.

Any structure within the splayed area should be lowered to 0.9m high as required by Design Standard 1 of Clause 52.06-9 (Car parking). This could be conditioned, and would therefore meet the requirements of the Planning Scheme.

- **That waste collection will be an issue as a result of the number of dwellings proposed**

The submitted Waste Management Plan demonstrates that there is adequate space to provide sixteen (16) bins on the nature strip adjacent to the site for the proposed eight (8) dwellings.

The application was referred to Council's Waste Management Services who has no objection to the Waste Management Plan provided.

It is considered that this issue has been addressed by the proposed development.

- **That there is an ongoing issue with stormwater on the site and surrounding land, and that the proposal would exacerbate this**

The application was referred to Council's Civil Development team who have no objection to the proposal. Council's Civil Development team have included conditions requiring collected stormwater to be retained onsite and discharged into the drainage system.

It is considered that this issue would be addressed via conditions (Conditions 1.7, 10 to 13).

In addition, a drainage plan would be required during the Building Permit stage to be provided and approved by Council's Civil Development team prior to the commencement of the development.

- **Too many dwellings proposed**

The development has provided adequate private open space and setbacks in accordance with the General Residential Zone – Schedule 1 together with adequate on-site car parking for each dwelling. An on-site visitor common car space has also been provided and is in accordance with Clause 52.06 (Car Parking).

An assessment has found that the development complies with the relevant planning policies or could do so via minor amendments, which can be achieved via conditions.

It is considered that the number of dwellings proposed is not excessive particularly considering the size of the site being 2023.6sqm, and development in the surrounding area.

The proposed development is not considered to be an overdevelopment of the site.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Assessment

The subject site is located within an established residential area and is well suited for the development of medium density housing given that the site is located within easy walking distance of many community facilities and public transport. The proposal also seeks to reduce pressure on the urban fringe by providing eight (8) dwellings where previously one (1) existed through the redevelopment of the site, thereby ensuring that the housing required for the growing population is facilitated.

As required by the relevant provisions of the Planning Scheme, the proposed development has been assessed against the following:

- Clause 22.09 (full assessment attached as attachment 3);
- Clause 52.06 (full assessment attached as attachment 4);
- Clause 55 (full assessment attached as attachment 5) as well as Schedule 1 to the General Residential Zone; and
- Clause 56 (full assessment attached as attachment 6).

Use

As outlined in Clause 32.08-2 (General Residential Zone), a dwelling is listed as a Section 1 use, and a planning permit is not required for the use of the proposal. However, a planning permit is required for the development and the subdivision of the land, which is discussed below.

Development & Subdivision

Planning Policy Framework / Local Planning Policy Framework

In considering the Planning Policy Framework and the Local Planning Policy Framework, Council can establish that an acceptable proposal will be guided by:

Clause 22.09 Residential Development and Neighbourhood Character;

Clause 52.06 Car parking;

Clause 55 Two or more dwellings on a lot; and

Clause 56 Residential subdivision.

Each of these Clauses ensure that Council facilitates the orderly development of urban areas, which is a specific objective of Clause 11.02 Settlement.

The objectives of Clause 15.01-1S Urban Design, Clause 15.01-2S Building Design and Clause 21.05-1 Built Form outline the key considerations in which a development must respond to urban design, character, streetscapes and landscape issues.

It is considered that the proposed design response respects the preferred neighbourhood character of the incremental change area by providing a medium density housing typology.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

The proposal is of a high quality urban design, with physical recession, articulation, varied use of materials, textures and other visual interest.

The overall layout allows space for compliant private and secluded private open space and acceptable landscaping treatments such as a significant canopy tree and shrubbery plantings within well-proportioned setback areas to allow growth to maturity.

The proposal is also located within an area subject to incremental change with other multi-unit developments of a similar scale and massing being found within the surrounding residential area such as on the adjoining land to the north. The proposal's compliance with Clause 22.09, Clause 52.06, Clause 55 and Clause 56 ensures that the development would achieve the objectives set out in Clause 15.01 and Clause 21.05-1.

As such, Council officers recommend that the application be approved subject to planning permit conditions as necessary.

Clause 22.09 Assessment - Residential Development and Neighbourhood Character Policy

An assessment against the design principles of Clause 22.09 is included at Attachment 3 of this report. This proposal provides a design response which is consistent with the preferred character envisaged by Clause 22.09. The principles that warrant further discussion are as follows:

Design Principles for all residential developments

Safety

Relevant Design Principle:

- *Light communal spaces including main entrances and car parking areas with high mounted sensor-lights.*

Security lighting could be required as a condition of any permit to be granted.

Landscaping

Relevant Design Principles:

- *Avoid the removal of existing mature trees by incorporating their retention into the site design.*
- *Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.*

A landscape plan has been provided incorporating native canopy trees within the front setback and within the secluded private open space of each dwelling. A rainwater tank could be requested as condition of any permit to be granted.

There are several trees on the site which would be removed for the development. An Arboricultural Report has been submitted to demonstrate that the trees to be removed are not significant trees and do not require a planning permit for removal. However, for completeness, Council's arborist has reviewed the Arboricultural Report and advised that the trees are appropriate for removal. Council's

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

arborist also advised that the street tree on the nature strip of Dunblane Road and the tree on the adjoining land to the south should be retained and fenced during the construction of the development. This could be conditioned.

Design Principle for Incremental Change Area

Bulk & Built Form

Relevant Design Principles:

Residential development in the GRZ1 and GRZ2 should:

- *provide separation between dwellings at the upper level;*
- *retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space;*
- *position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot.*

Within the GRZ1 and GRZ2 the rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.

Two storey dwellings to the rear of a lot in the GRZ1 and GRZ2 may be considered where:

- *the visual impact of the building bulk does not adversely affect the identified future character of the area; overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties;*
- *the building bulk does not adversely affect the planting and future growth of canopy trees to maturity;*
- *sufficient side and rear boundary landscaping can be provided to screen adjoining properties;*
- *upper storey components are well recessed from adjoining sensitive interfaces.*

The first floors of Units 2 and 3 would be attached as well as the first floors of Units 4 and 5 and Units 6 and 7. The extent of the first floor attachments are not excessive. It is noted that the adjoining development to the north has similar first floor attachment. The first floor attachment to some sections of the development is not out of character to the area.

There is no clear spine of open space located on this site.

The proposed two storey dwelling to the rear of the lot is considered appropriate due to the following:

- The adjoining land to the north also has double storey dwellings throughout the depth of the lot including the last dwelling at the rear.
- The two storey dwellings would not result in visual bulk to the surrounding developments or the streets due to the well articulated design.
- The proposed development would not result in overlooking or overshadowing to the secluded private open spaces or habitable room windows of the adjoining properties.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- The proposed development would have adequate space for canopy trees including space for future canopy trees spread as the first floors would not cantilever over the ground floors.
- The landscape plan shows that there would be substantial landscaping along the front, side and rear boundaries.
- The upper storey of Unit 8 is well recessed from the ground floor and well setbacks from the adjoining properties.

Clause 52.06 Assessment - Car Parking

The table at Clause 52.06-5 (Car parking – Number of car spaces required under Table 1) sets out the car parking requirement that applies to the use of land for dwellings as follows:

- One (1) car parking space to each one (1) or two (2) bedroom dwelling; and
- Two (2) car parking spaces to each three (3) or more bedroom dwelling; plus
- One (1) car parking space for visitors to every five (5) dwellings for developments of five (5) or more dwellings.

The proposal would provide two (2) car spaces to each three-bedroom or four-bedroom dwelling with at least one (1) under cover car space. One (1) common visitor car space would be provided.

A total of seventeen (17) car parking spaces are required, comprising sixteen (16) car spaces for the residents and one (1) visitor car space.

As such, the number of car spaces provided for the residents and visitors comply with Clause 52.06 (Car parking).

The proposal generally complies with the Design Standard of Clause 52.06-9, and a full Clause 52.06 assessment is attached to this report at Attachment 4. The standards that warrant further consideration are discussed as follows:

Design Standard 1 – Accessways

This standard requires accessway must have a corner splay or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.

The ground floor plan has annotated that the 2m x 2.5m splay at the entrance of the driveway would have a minimum 50% clear sight line at vehicle exit to maximum height of 1m above natural ground level.

Any structure within the splayed area should be lowered to 0.9m high. This could be conditioned.

Design Standard 2 – Car parking spaces

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

This standard requires open car space to be 2.6m wide by 4.9m long and where parking spaces are provided in tandem (one space behind the other), an additional 500mm in length must be provided between each space.

Based on the scale provided, the tandem car spaces of Units 2 to 7 are measured to be more than 2.6m wide by 4.9m long and the gaps between the tandem car spaces and the garages are measured to be 500mm. A condition could be included on any permit to be granted to confirm the dimension of the tandem car spaces and the gap between the tandem car spaces and the garages.

Design Standard 6 – Safety

This standard requires car parking must be well lit and clearly signed. Security lighting could be required as a condition of any permit to be granted. As the development is for residential dwellings, signage to the car parking area is not required.

Clause 55 Assessment - Two or more Dwellings on a lot and Residential Buildings

A Clause 55 Assessment is attached to this report at Attachment 5. Standards that warrant further consideration are discussed as follows:

Clause 55.03-7 Safety objective – Standard B12

This standard requires developments to be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Security lighting could be required as a condition of any permit to be granted.

Clause 55.03-10 Parking location objective – Standard B15

This standard requires that shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway. In this instance, all windows within 1.5 metre of the accessway have window sills at least 1.4 metre high, and therefore the setback requirement is 1 metre.

The south facing living room windows of Units 2 to 7 would be less than 1m from the common accessway. It is recommended that noise attenuated glazing should be provided to the windows to limit vehicle noise from the common driveway to the window.

It is considered that the objective will be met as the double glazing would limit noise from the driveway to the habitable room windows. In addition, the habitable room windows are to living rooms and not bedrooms. The minor variation of 0.32m to the setback of these windows are considered acceptable in this instance.

Clause 55.03-7 Overlooking objective – Standard B22

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

This standard requires a habitable room window to be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window. Views should be measured within a 45 degree angle from the plane of the window and from a height of 1.7 metres above floor level.

Whilst the 1.8m high southern boundary fence would provide some screening to the secluded private open spaces of the adjoining land to the south, due to the slope of the land which has a fall of up to 5m from the rear to the front which would exacerbate overlooking from the first floor south facing bedroom windows of Units 2 to 8. Therefore, it is recommended that fixed obscured glazing should be provided to these windows. This could be conditioned.

Clause 56 Assessment – Residential Subdivision

A Clause 56 Assessment is attached to this report at Attachment 6. Standards that warrant further consideration are discussed as follows:

Clause 56.09-2 Electricity, Telecommunications and Gas objective – Standard C28

It is considered that the supply of electricity, telecommunications and gas could be supplied to the lots to the satisfaction of the relevant authorities to ensure these objectives are met. Relevant permit conditions would be placed on any permit to be granted.

Clause 56.09-3 Fire hydrants objective – Standard C29

The application was referred to the Country Fire Authority who requested conditions to be included on any permit to be granted.

Clause 22.06 - Environmentally Sustainable Development

The proposal complies with the requirements of Clause 22.06 by providing a Sustainable Design Assessment (SDA), a Built Environment Sustainability Scorecard (BESS) and a Stormwater Calculation, all completed by qualified professionals.

The provided BESS score complies with a score of 50% for best practice encompassing the full life of the build and identifying the methods used for the best environmental performance outcome. Having regard to the sites opportunities and restraints, the proposal has included the necessary water tanks, and roof catchment areas, sufficient energy star ratings for fixtures, heating and cooling systems and the addition of double-glazed habitable room windows.

The referral response from Council's ESD team identified that the submitted plans should be amended to include the following:

- Location of necessary Water Sensitive Urban Design (WSUD) treatment systems including rainwater tanks to dwellings and a combination of raingardens and permeable surface treatments to driveways and other impervious surfaces.
- Space allocation and depiction of green/organic waste bins adjacent to waste and recycling bins within the secluded private open space areas.
- Any other measures associated with the revised Sustainable Design Assessment.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

BESS Information Summary Dwelling Type: Non-residential		Project Overall Score: 54%		
		Fail	Best Practice	Design Excellence
		(<49%)	(50-69%)	(>70%)
BESS Category	Score	Initiatives		
Management	40%			
		ESD consultant present at pre-application to discuss matters related to sustainable design. TBC		
		Commitment to prepare a building users guide.		
Water	50%			
		Rainwater tank capacity of 2,000L per dwelling connected to: Landscape irrigation, Toilet flushing, Laundry Use		
		Moderate WELS star rated water fittings, fixtures and appliances		
		Potable water consumption reduced by 25% compared to same building following minimum standards.		
Energy	50%			
		High efficiency reverse cycle air conditioning specified with 4 star energy rating.		
		High efficiency 6 star gas instantaneous hot water system specified.		
		Estimated greenhouse gas emissions reduced by 67% compared to compared to same building following minimum standards		
Stormwater	100%			
		Stormwater design meets industry best practice requirements though incorporation of rainwater collection and re-use and raingardens		
Indoor Environment Quality	60%			

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

		Design promotes high levels of daylight access to living areas and bedrooms.
		Over 50% of dwelling living spaces-oriented north.
		Natural cross ventilation achieved for all dwellings
		Fixed and adjustable shading provided for all north, east and west facing windows - TBC
Transport	67%	
		Dwelling space caters for bicycle parking storage
Waste	50%	
Urban Ecology	38%	
Innovation	0%	

Waste Management

A Waste Management Plan has been submitted with the application. Each dwelling would be provided with a 120 litre garbage bin and a 240 litre recycling bin. Green waste bin would be optional. Bins for each dwelling would be stored within their respective secluded private open space area. On waste collection day, bins would be provided on the nature strip on Dunblane Road adjacent to the site.

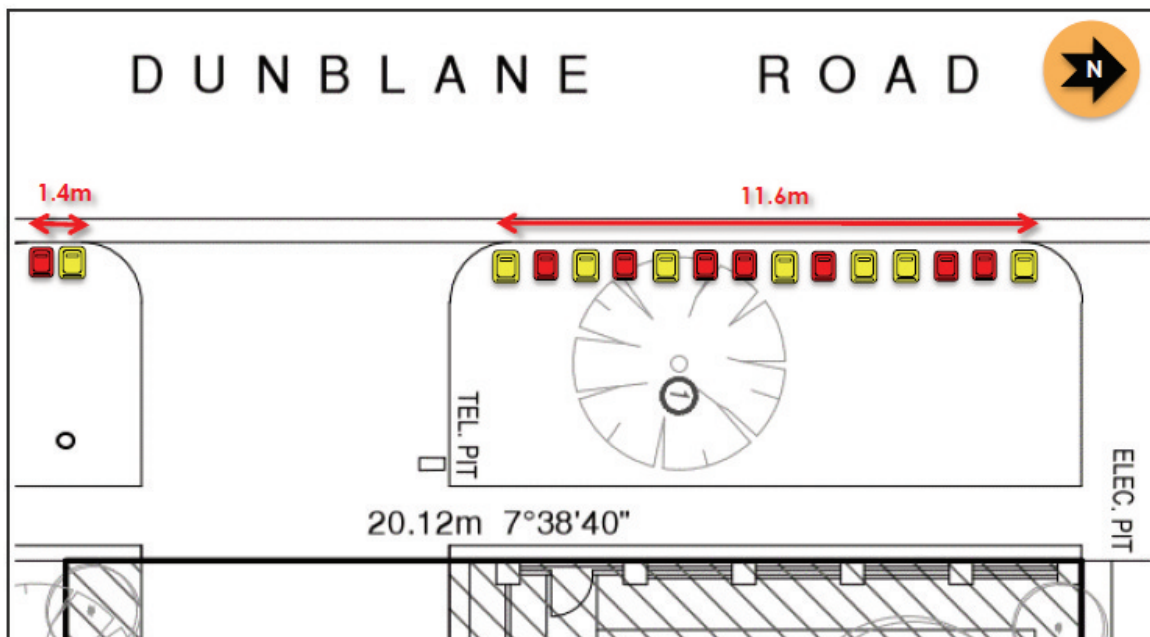
The site has a frontage of 20.12m. The submitted Waste Management Plan demonstrated that there is adequate space to provide sixteen (16) bins on the nature strip adjacent to the site for the proposed eight (8) dwellings. Waste collections would be undertaken by Council's Waste Management Services.

The application was referred to Council's Waste Management Services who have no objection to the waste management proposed.

A plan showing the locations of bins to be provided during waste collection day is below:

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Figure 3 Kerbside Bin Positions



Conclusion

The proposal is consistent with the provisions of the Greater Dandenong Planning Scheme, including the zoning requirements, local policy direction, application of Clauses 22.09, 52.06, 55 and 56, and the decision guidelines of Clause 65.

Recommendation

That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as 23 Dunblane Road, Noble Park VIC 3174 (Lot 1 TP 519071 Vol 4852 Fol 266), for ‘the development of the land for eight (8) double storey dwellings and to subdivide the land into eight (8) lots in accordance with the plans submitted with the application’, subject to the following conditions:

Development conditions

- 1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended plans must be drawn to scale with dimensions and 3 copies must be provided. The amended plans must be generally in accordance with the plans submitted and assessed with the application but modified to show:**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 1.1. The 2m x 2.5m splay at the entrance of the driveway to have a minimum 50% clear sight line at vehicle exit to maximum height of 0.9m above natural ground level;**
- 1.2. The provision of sensor lights above each garage and bollard lights along the common accessway;**
- 1.3. The south facing living room windows of Units 2 to 7 provided with noise attenuated glazing;**
- 1.4. The first floor south facing bedroom windows of Units 2 to 8 provided with fixed obscured glazing to a height of 1.7m above finished first floor levels;**
- 1.5. Dimensions of the tandem car spaces of Units 1 to 7 in accordance with Clause 52.06-9 (Car Parking);**
- 1.6. A gap of 500mm between the garages and tandem car spaces of Units 1 to 7;**
- 1.7. A kerb along the entire length of the southern side of the accessway with a minimum height of 150mm from surface level;**
- 1.8. A minimum 2000 litre rainwater tank for each dwelling;**
- 1.9. Location of necessary Water Sensitive Urban Design (WSUD) treatment systems including rainwater tanks to dwellings and a combination of raingardens and permeable surface treatments to driveways and other impervious surfaces;**
- 1.10. Space allocation and depiction of green/organic waste bins adjacent to waste and recycling bins within the secluded private open space areas;**
- 1.11. Any other measures associated with the revised Sustainable Design Assessment (refer to Condition 5).**

When approved, these plans will be endorsed and will form part of this permit.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 2 The provisions, recommendations and requirements of the landscape plan must be implemented, maintained and complied with to the satisfaction of the Responsible Authority.**

Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied.

- 3. Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.**

- 4. Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.**

- 5. Prior to the endorsement of plans under condition 1, the applicant is to submit a revised Sustainable Design Assessment (SDA) to the satisfaction of the responsible authority. The revised SDA must be in accordance with the design initiatives, commitments and performance tool inputs specified in the SDA (prepared by EcoResults, ref 2020-2307-SDA) but modified to include:**

- 5.1. Revised stormwater section that includes submission of an updated assessment of the stormwater performance treatments for the site (using STORM or InsiteWater) that includes:**

- a) Use of rainwater tanks to dwellings where required**
- b) Use of raingardens to relevant impervious areas for each dwelling**
- c) Removal of raingardens as a standalone treatment for the driveway area and replaced with permeable surface treatments to the driveway or a combination of permeable treatments and bioretention systems (raingardens) where appropriate.**

- 5.2. Revised water efficiency section of the SDA and BESS tool that includes:**

- a) Specification of rainwater tanks with a minimum capacity of 2,000L to relevant dwellings**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- b) **Specification of washing machines to “occupant to install”**
 - c) **Specification of the make and model for all 4-star WELS rated (>4.5-<6L) showerheads or, if showerheads unconfirmed, revise the WELS showerheads to 4 Star (>6.0-<7.5L) in BESS.**
 - 5.3. **Revised waste section (if necessary) in accordance with the final town planning drawings submitted as per condition 1.**
- 6. **The provisions, recommendations and requirements of the endorsed SDA must be implemented and complied with to the satisfaction of the Responsible Authority. No alterations to the endorsed SDA are permitted without prior written consent of the Responsible Authority.**
- 7. **Prior to the commencement of the development, the trees marked Tree 1 and Tree 3 in the Arboricultural Report prepared by Sustainable Tree Management, Feb 2021 must have Tree Protection Zones (TPZ) installed to the satisfaction of the Responsible Authority. All TPZ’s must meet the following requirements:**
 - 7.1. **Each TPZ fence must be installed prior to the commencement of any demolition, excavation, tree removal, delivery of building/construction materials, temporary buildings and construction.**
 - 7.2. **Each fence shall not be removed until such works have been fully completed.**
 - 7.3. **Each TPZ must extend to the Tree Protection Zone as outlined in the endorsed Arboricultural Report (Sustainable Tree Management, Feb 2021), calculated as being a radius of 12 times the Diameter at Breast Height (DBH –measured at 1.4 metres above ground level as defined by the Australian Standard AS 4970.2009).**
 - 7.4. **All TPZs must be mulched (100-150mm thick layer) in accordance with AS 4970-2009 and follow guidelines provided in the Arboricultural Report (Sustainable Tree Management, Feb 2021) in 5.1. General Tree Protection Requirements.**
 - 7.5. **If works are shown on any endorsed plans of this permit within the calculated TPZ, the Tree Protection Fencing must be taken in only the minimum amount necessary to allow the works to be completed.**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

7.6. Areas within the TPZ must not be used:

- 7.6.1. for vehicular or pedestrian access, no trenching or soil excavation is to occur.**
- 7.6.2. for storage or dumping of tools, equipment, materials or waste is to occur.**
- 7.6.3. for storage of any vehicles, machinery, equipment or other materials.**

- 8. Demolition of the existing driveway must occur by non-destructive digging methods under Arborist supervision within the TPZ of Tree 3. No excavation should occur in the TPZ without prior approval from the Project Arborist**
- 9. The proposed concrete driveway must be constructed above the existing grade and within the footprint of the existing concrete driveway in order to protect the tree labelled Tree 3 in the Arboricultural Report prepared by Sustainable Tree Management, Feb 2021.**
- 10. Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.**
- 11. Stormwater discharge is to be retained on site to the pre-development level of peak stormwater discharge, to the satisfaction of the Responsible Authority.**
- 12. The connection of the internal drainage infrastructure to the legal point of discharge must be to the satisfaction of the Responsible Authority.**
- 13. Collected stormwater must be retained onsite and discharged into the drainage system at pre-development peak discharge rates as stated in the legal point of discharge approval letter. Approval of drainage plan including any retention system within the property boundary is required.**
- 14. Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

15. **Standard concrete vehicular crossing/s must be constructed to suit the proposed driveway/s in accordance with the Council's standard specifications. Any vehicle crossing no longer required must be removed and the land, footpath and kerb and channel reinstated, to the satisfaction of the Responsible Authority.**
16. **Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.**
17. **Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.**
18. **Before the approved building is occupied, the obscure glazing to the windows shown on the endorsed plans must be provided through frosted glass or similarly treated glass. Adhesive film or similar removable material must not be used.**
All glazing must at all times be maintained to the satisfaction of the Responsible Authority.
19. **Before the approved building is occupied, all boundary walls in the development must be constructed, cleaned and finished to the satisfaction of the Responsible Authority.**
20. **Prior to commencement of the development, written consent must be obtained from the relevant authority to relocate the power pole at the front of the site. The cost of the relocation of the power pole and associated works, must be borne by the developer.**

Subdivision conditions

21. **The subdivision as shown on the endorsed plans must not be altered, unless with the written consent of the Responsible Authority.**
22. **Prior to the Certification of the Plan of Subdivision, the owner of the land must, to the satisfaction of the Responsible Authority, complete the development of all the land in the subdivision in accordance with this permit or any amended or subsequent permit.**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 23. Prior to Certification of the Plan of Subdivision, the owner must provide evidence from a qualified Building Surveyor that the buildings are in conformity with relevant Building Regulations to the satisfaction of the Responsible Authority. This includes, but is not limited to, the fire rating of any structure or windows on or near proposed boundaries of the lots.**
- 24. Prior to the issue of the Statement of Compliance, the owner of the land is required to pay to the Responsible Authority the sum of 5% of the site value of all the land in the subdivision (as valued by Council) as an Open Space Contribution.**
- 25. The owner of the land must enter into an agreement with:**
- 25.1. a telecommunications network or service provider for the provision of telecommunication services to each lot shown on the endorsed plan in accordance with the provider's requirements and relevant legislation at the time; and**
 - 25.2. a suitably qualified person for the provision of fibre-ready telecommunication facilities to each lot shown on the endorsed plan in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.**
- 26. Before the issue of a Statement of Compliance for any stage of the subdivision under the Subdivision Act 1988, the owner of the land must provide written confirmation from:**
- 26.1. a telecommunications network or service provider that all lots are connected to or are ready for connection to telecommunications services in accordance with the provider's requirements and relevant legislation at the time; and**
 - 26.2. a suitably qualified person that fibre-ready telecommunication facilities have been provided in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

27. **Provision must be made for the drainage of each lot shown on the approved Plan of Subdivision in accordance with plans and specifications to be submitted to and approved by the Responsible Authority, prior to occupation of the site, all to the satisfaction of the Responsible Authority.**
28. **Prior to the Statement of Compliance being issued, the following must be satisfied:**
- 28.1. **All works for the development must be completed to the satisfaction of responsible authority.**
 - 28.2. **The proposed drainage works for the development must be completed in accordance with the approved plans.**
 - 28.3. **Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.**
 - 28.4. **Asset Protection Permit to be finalised.**

Conditions from Country Fire Authority

29. Hydrants

Prior to the issue of a Statement of Compliance under the *Subdivision Act 1988*, the following requirements must be met to the satisfaction of the CFA:

- 29.1. **Above or below ground operable hydrants must be provided. The maximum distance between these hydrants and the rear of all building envelopes (or in the absence of building envelopes, the rear of the lots) must be 120 metres and the hydrants must be no more than 200 metres apart. These distances must be measured around lot boundaries.**
- 29.2. **The hydrants must be identified with marker posts and road reflectors as applicable to the satisfaction of the Country Fire Authority.**

Note –CFA’s requirements for identification of hydrants are specified in ‘Identification of Street Hydrants for Firefighting Purposes’ available under publications on the CFA web site (www.cfa.vic.gov.au).

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

30. Roads

Roads must be constructed to a standard so that they are accessible in all weather conditions and capable of accommodating a vehicle of 15 tonnes for the trafficable road width.

- 30.1. Curves must have a minimum inner radius of 10 metres.
- 30.2. Have a minimum trafficable width of 3.5 metres and be clear of encroachments for at least 0.5 metres on each side and 4 metres above the access way.
- 30.3. Roads more than 60m in length from the nearest intersection must have a turning circle with a minimum radius of 8m (including roll-over kerbs if they are provided) or the provision of T or Y heads which meet the specification of Austroad Design for an 8.8 metre service vehicle.

Conditions from South East Water

- 31. The owner of the subject land must enter into an agreement with South East Water for the provision of drinking water supply and fulfil all requirements to its satisfaction.
- 32. The owner of the subject land must enter into an agreement with South East Water for the provision of sewerage and fulfil all requirements to its satisfaction.
- 33. All lots shown on the Plan of Subdivision must be included in the Owners Corporation schedule.
- 34. Prior to certification, the Plan of Subdivision must be referred to South East Water, in accordance with Section 8 of the Subdivision Act 1988.

Conditions from United Energy

- 35. The plan of subdivision submitted for certification under the Subdivision Act 1988 shall be referred to the Distributor in accordance with Section 8 of that Act.
- 36. The applicant shall provide an electricity supply to all lots in the subdivision in accordance with the Distributor's requirements and standards.

Notes: Extension, augmentation or rearrangement of the Distributor's electrical assets may be required to make such supplies available, with the cost of such works generally borne by the applicant.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 37. The applicant shall ensure that existing and proposed buildings and electrical installations on the subject land are compliant with the Victorian Service and Installation Rules (VSIR).**

Notes: Where electrical works are required to achieve VSIR compliance, a registered electrical contractor must be engaged to undertake such works.

Condition from Multinet Gas

- 38. A Statement of Compliance be obtained from Multinet Gas prior to the plan of subdivision being released from the Titles Office.**

Expiry date

- 39. This permit will expire if:**

- 39.1. The development or any stage of it does not start within two (2) years of the date of this permit, or**
- 39.2. The development or any stage of it is not completed within four (4) years of the date of this permit.**
- 39.3 The Plan of Subdivision is not certified within two (2) years of the date of this permit.**

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- (a) the request for the extension is made within twelve (12) months after the permit expires; and**
- (b) the development or stage started lawfully before the permit expired.**

The certified plan is valid for 5 years from the date of certification.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Permit Notes

A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.

Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.

Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council.

Prior to the drainage plans being approved, a drainage approval fee will need to be paid to Council.

Approval of any retention system within the property boundary is required by the relevant building surveyor.

Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.

As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.

A Vehicle Crossing Permit must be obtained from Council for all vehicular crossings prior to construction of the crossings. You may be required to apply for a Asset Protection Permit from Council's engineering services. Queries regarding engineering requirements can be directed to Council's general phone number on 8571 1000.

No buildings or works shall be constructed over any easement without the written consent of the relevant authorities.

The required forms to be submitted to Council in relation to telecommunications conditions can be found at the Advisory Note 49 – Telecommunications Services and Facilities in Subdivisions.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

For subdivisions without existing infrastructure on the street where an extension is required to the existing telecommunications network (such as new poles, lines, pits, towers or satellite dishes), the Australian Communications and Media Authority (ACMA) has a list of carriers (owners of a telecommunications network) that can provide written confirmation to a council that all lots are connected to or ready for connection to telecommunications services at

<http://www.acma.gov.au/Industry/Tele/Carriers-and-service-providers/Licensing/register-of-licensed-carriers-licensing+acma>

For subdivisions with existing infrastructure on the street where lots have access to and can connect to the existing telecommunications network on an adjoining street through the installation of a starter conduit or lead-in connection only, a telecommunications network or service provider can also be a person or organisation that is qualified to install the starter conduit or lead-in connections and supporting infrastructure (usually through lead-in conduit or lead-in trenching) from the existing telecommunications network to a new lot or multi-lot building. To determine if your cabler is registered, please consult:

<http://www.acma.gov.au/theACMA/Library/Corporate-library/Forms-and-registers/is-your-cabler-registered>

In relation to providing pit and pipe design and build fibre ready services the NBN Co has provided a list of some of the pit and pipe suppliers and manufacturers at <http://www.nbnco.com.au/assets/documents/pit-and-pipe-supplier-list.pdf>

If you have a condition on your permit requiring the owner to enter into agreements with telecommunication and fibre ready services, the owner/developer should enter into these agreements as soon as possible; the agreement can take weeks to be processed and this may delay statement of compliance being issued. The statement of compliance will not be issued unless evidence of this agreement is provided from the authorised utility company; any submission from a contractor in relation to lead-ins in established areas must include documentation such as plans, photos of the lead-ins, and the registered person's qualifications.

Prior to issuing the prescribed information under Section 21(1) of the Subdivisions Act 1988 (Vic), United Energy require the developer to establish a group meter box within the common property for any lot that touches common property and is affected by any owners corporation.

Melbourne Water's Advice

- The property is not subject to flooding from any of Melbourne Water's assets. Council
- please confirm whether there is any flooding from the local drainage system.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- **To access more information regarding other services or online applications that**
- **Melbourne Water offers please visit our website**
- **For general development enquiries contact our Customer Service Centre on 131722.**

South East Water's Notes

The owner of the subject land is required to obtain a 'Notice of Agreement' from South East Water. All requirements must be fulfilled to its satisfaction prior to South East Water consenting to the issuing of a Statement of Compliance.

The following South East Water agreement options are available:

- **Application to enter into a Development Agreement-Works – If South East Water reticulated sewer/water/recycled water (as applicable) is required to be extended to service lots within the development**
- **Application to enter into an agreement-Non Works – If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner only requires Statement of Compliance to release the titles (i.e. subdivision prior to building)**
- **Plumbing Industrial, Commercial, Units & Private Water application – If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner wishes to commence construction of the building/s (i.e. building prior to subdivision)**

To lodge an application please visit our website: www.southeastwater.com.au

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

MINUTE 475

Moved by: Cr Eden Foster
Seconded by: Cr Rhonda Garad

That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as 23 Dunblane Road, Noble Park VIC 3174 (Lot 1 TP 519071 Vol 4852 Fol 266), for ‘the development of the land for eight (8) double storey dwellings and to subdivide the land into eight (8) lots in accordance with the plans submitted with the application’, subject to the following conditions:

Development conditions

- 1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended plans must be drawn to scale with dimensions and 3 copies must be provided. The amended plans must be generally in accordance with the plans submitted and assessed with the application but modified to show:
 - 1.1. The 2m x 2.5m splay at the entrance of the driveway to have a minimum 50% clear sight line at vehicle exit to maximum height of 0.9m above natural ground level;**
 - 1.2. The provision of sensor lights above each garage and bollard lights along the common accessway;**
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 - 1.5. Dimensions of the tandem car spaces of Units 1 to 7 in accordance with Clause 52.06-9 (Car Parking);**
 - 1.6. A gap of 500mm between the garages and tandem car spaces of Units 1 to 7;**
 - 1.7. The accessway to be designed to be dished along its entire length and a kerb installed along the entire length of the southern side of the accessway with a minimum height of 150mm from surface level;**
 - 1.8. A minimum 2000 litre rainwater tank for each dwelling;****

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 1.9. Location of necessary Water Sensitive Urban Design (WSUD) treatment systems including rainwater tanks to dwellings and a combination of raingardens and permeable surface treatments to driveways and other impervious surfaces;**
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2 When approved, these plans will be endorsed and will form part of this permit. The provisions, recommendations and requirements of the landscape plan must be implemented, maintained and complied with to the satisfaction of the Responsible Authority.

Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied.

- 3. Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.**
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 - 5.1. Revised stormwater section that includes submission of an updated assessment of the stormwater performance treatments for the site (using STORM or InsiteWater) that includes:**
 - a) Use of rainwater tanks to dwellings where required**
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2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- c) **Removal of raingardens as a standalone treatment for the driveway area and replaced with permeable surface treatments to the driveway or a combination of permeable treatments and bioretention systems (raingardens) where appropriate.**

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- 7. Prior to the commencement of the development, the trees marked Tree 1 and Tree 3 in the Arboricultural Report prepared by Sustainable Tree Management, Feb 2021 must have Tree Protection Zones (TPZ) installed to the satisfaction of the Responsible Authority. All TPZ’s must meet the following requirements:**
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- 7.4. All TPZs must be mulched (100-150mm thick layer) in accordance with AS 4970-2009 and follow guidelines provided in the Arboricultural Report (Sustainable Tree Management, Feb 2021) in 5.1. General Tree Protection Requirements.**
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- 25.1. a telecommunications network or service provider for the provision of telecommunication services to each lot shown on the endorsed plan in accordance with the provider's requirements and relevant legislation at the time; and**
 - 25.2. a suitably qualified person for the provision of fibre-ready telecommunication facilities to each lot shown on the endorsed plan in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.**
- 26. Before the issue of a Statement of Compliance for any stage of the subdivision under the Subdivision Act 1988, the owner of the land must provide written confirmation from:**
- 26.1. a telecommunications network or service provider that all lots are connected to or are ready for connection to telecommunications services in accordance with the provider's requirements and relevant legislation at the time; and**
 - 26.2. a suitably qualified person that fibre-ready telecommunication facilities have been provided in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.**
- 27. Provision must be made for the drainage of each lot shown on the approved Plan of Subdivision in accordance with plans and specifications to be submitted to and approved by the Responsible Authority, prior to occupation of the site, all to the satisfaction of the Responsible Authority.**
- 28. Prior to the Statement of Compliance being issued, the following must be satisfied:**
- 28.1. All works for the development must be completed to the satisfaction of responsible authority.**
 - 28.2. The proposed drainage works for the development must be completed in accordance with the approved plans.**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 28.3. Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.**
- 28.4. Asset Protection Permit to be finalised.**

Conditions from Country Fire Authority

29. Hydrants

Prior to the issue of a Statement of Compliance under the *Subdivision Act 1988*, the following requirements must be met to the satisfaction of the CFA:

- 29.1. Above or below ground operable hydrants must be provided. The maximum distance between these hydrants and the rear of all building envelopes (or in the absence of building envelopes, the rear of the lots) must be 120 metres and the hydrants must be no more than 200 metres apart. These distances must be measured around lot boundaries.**
- 29.2. The hydrants must be identified with marker posts and road reflectors as applicable to the satisfaction of the Country Fire Authority.**

Note –CFA’s requirements for identification of hydrants are specified in ‘Identification of Street Hydrants for Firefighting Purposes’ available under publications on the CFA web site (www.cfa.vic.gov.au).

30. Roads

Roads must be constructed to a standard so that they are accessible in all weather conditions and capable of accommodating a vehicle of 15 tonnes for the trafficable road width.

- 30.1. Curves must have a minimum inner radius of 10 metres.**
- 30.2. Have a minimum trafficable width of 3.5 metres and be clear of encroachments for at least 0.5 metres on each side and 4 metres above the access way.**
- 30.3. Roads more than 60m in length from the nearest intersection must have a turning circle with a minimum radius of 8m (including roll-over kerbs if they are provided) or the provision of T or Y heads which meet the specification of Austroad Design for an 8.8 metre service vehicle.**

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Conditions from South East Water

31. The owner of the subject land must enter into an agreement with South East Water for the provision of drinking water supply and fulfil all requirements to its satisfaction.
32. The owner of the subject land must enter into an agreement with South East Water for the provision of sewerage and fulfil all requirements to its satisfaction.
33. All lots shown on the Plan of Subdivision must be included in the Owners Corporation schedule.
34. Prior to certification, the Plan of Subdivision must be referred to South East Water, in accordance with Section 8 of the Subdivision Act 1988.

Conditions from United Energy

35. The plan of subdivision submitted for certification under the Subdivision Act 1988 shall be referred to the Distributor in accordance with Section 8 of that Act.
36. The applicant shall provide an electricity supply to all lots in the subdivision in accordance with the Distributor's requirements and standards.

Notes: Extension, augmentation or rearrangement of the Distributor's electrical assets may be required to make such supplies available, with the cost of such works generally borne by the applicant.

37. The applicant shall ensure that existing and proposed buildings and electrical installations on the subject land are compliant with the Victorian Service and Installation Rules (VSIR).

Notes: Where electrical works are required to achieve VSIR compliance, a registered electrical contractor must be engaged to undertake such works.

Condition from Multinet Gas

38. A Statement of Compliance be obtained from Multinet Gas prior to the plan of subdivision being released from the Titles Office.

Expiry date

39. This permit will expire if:
 - 39.1. The development or any stage of it does not start within two (2) years of the date of this permit, or

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

- 39.2. The development or any stage of it is not completed within four (4) years of the date of this permit.**
- 39.3 The Plan of Subdivision is not certified within two (2) years of the date of this permit.**

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- (a) the request for the extension is made within twelve (12) months after the permit expires; and**
- (b) the development or stage started lawfully before the permit expired.**

The certified plan is valid for 5 years from the date of certification.

Permit Notes

A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.

Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.

Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council.

Prior to the drainage plans being approved, a drainage approval fee will need to be paid to Council.

Approval of any retention system within the property boundary is required by the relevant building surveyor.

Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.

As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

A Vehicle Crossing Permit must be obtained from Council for all vehicular crossings prior to construction of the crossings. You may be required to apply for a Asset Protection Permit from Council's engineering services. Queries regarding engineering requirements can be directed to Council's general phone number on 8571 1000.

No buildings or works shall be constructed over any easement without the written consent of the relevant authorities.

The required forms to be submitted to Council in relation to telecommunications conditions can be found at the Advisory Note 49 – Telecommunications Services and Facilities in Subdivisions.

For subdivisions without existing infrastructure on the street where an extension is required to the existing telecommunications network (such as new poles, lines, pits, towers or satellite dishes), the Australian Communications and Media Authority (ACMA) has a list of carriers (owners of a telecommunications network) that can provide written confirmation to a council that all lots are connected to or ready for connection to telecommunications services at

<http://www.acma.gov.au/Industry/Telco/Carriers-and-service-providers/Licensing/register-of-licensed-carriers-licensing+acma>

For subdivisions with existing infrastructure on the street where lots have access to and can connect to the existing telecommunications network on an adjoining street through the installation of a starter conduit or lead-in connection only, a telecommunications network or service provider can also be a person or organisation that is qualified to install the starter conduit or lead-in connections and supporting infrastructure (usually through lead-in conduit or lead-in trenching) from the existing telecommunications network to a new lot or multi-lot building. To determine if your cabler is registered, please consult:

<http://www.acma.gov.au/theACMA/Library/Corporate-library/Forms-and-registers/is-your-cabler-registered>

In relation to providing pit and pipe design and build fibre ready services the NBN Co has provided a list of some of the pit and pipe suppliers and manufacturers at <http://www.nbnco.com.au/assets/documents/pit-and-pipe-supplier-list.pdf>

If you have a condition on your permit requiring the owner to enter into agreements with telecommunication and fibre ready services, the owner/developer should enter into these agreements as soon as possible; the agreement can take weeks to be processed and this may delay statement of compliance being issued. The statement of compliance will not be issued unless evidence of this agreement is provided from the authorised utility company; any submission from a contractor in relation to lead-ins in established areas must include documentation such as plans, photos of the lead-ins, and the registered person's qualifications.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Prior to issuing the prescribed information under Section 21(1) of the Subdivisions Act 1988 (Vic), United Energy require the developer to establish a group meter box within the common property for any lot that touches common property and is affected by any owners corporation.

Melbourne Water's Advice

- The property is not subject to flooding from any of Melbourne Water's assets. Council
- please confirm whether there is any flooding from the local drainage system.
- To access more information regarding other services or online applications that
- Melbourne Water offers please visit our website
- For general development enquiries contact our Customer Service Centre on 131722.

South East Water's Notes

The owner of the subject land is required to obtain a 'Notice of Agreement' from South East Water. All requirements must be fulfilled to its satisfaction prior to South East Water consenting to the issuing of a Statement of Compliance.

The following South East Water agreement options are available:

- Application to enter into a Development Agreement-Works – If South East Water reticulated sewer/water/recycled water (as applicable) is required to be extended to service lots within the development
- Application to enter into an agreement-Non Works – If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner only requires Statement of Compliance to release the titles (i.e. subdivision prior to building)
- Plumbing Industrial, Commercial, Units & Private Water application – If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner wishes to commence construction of the building/s (i.e. building prior to subdivision)

To lodge an application please visit our website: www.southeastwater.com.au

CARRIED

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

For the Motion: Cr Eden Foster, Cr Rhonda Garad, Cr Richard Lim OAM, Cr Angela Long, Cr Jim Memeti, Cr Bob Milkovic, Cr Sean O'Reilly, Cr Sophie Tan, Cr Loi Truong

Against the Motion: Cr Tim Dark

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 23 DUNBLANE ROAD, NOBLE
PARK (PLANNING APPLICATION NO. PLN21/0092)**

ATTACHMENT 1

SECTION 57A AMENDMENTS PLANS

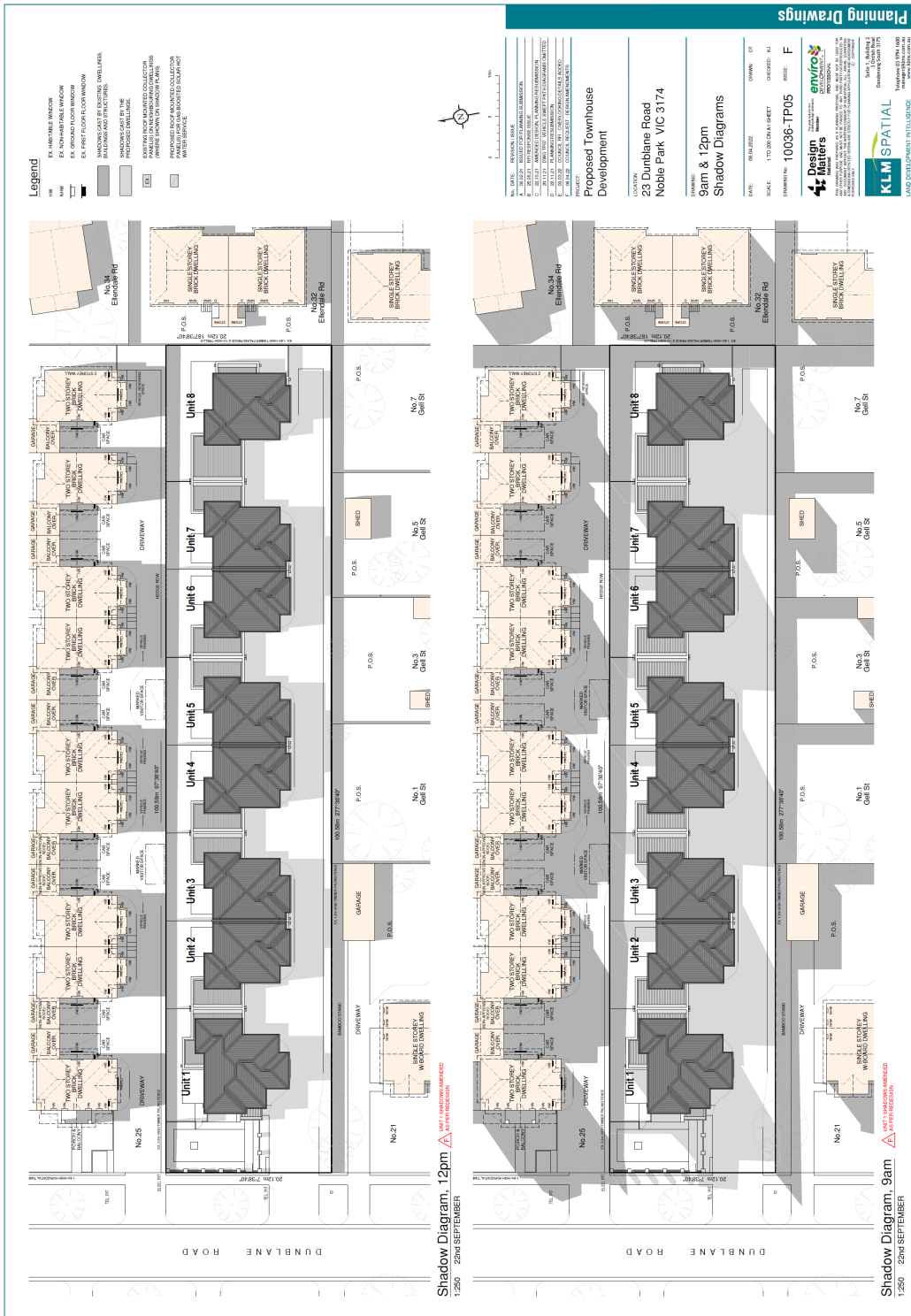
PAGES 9 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

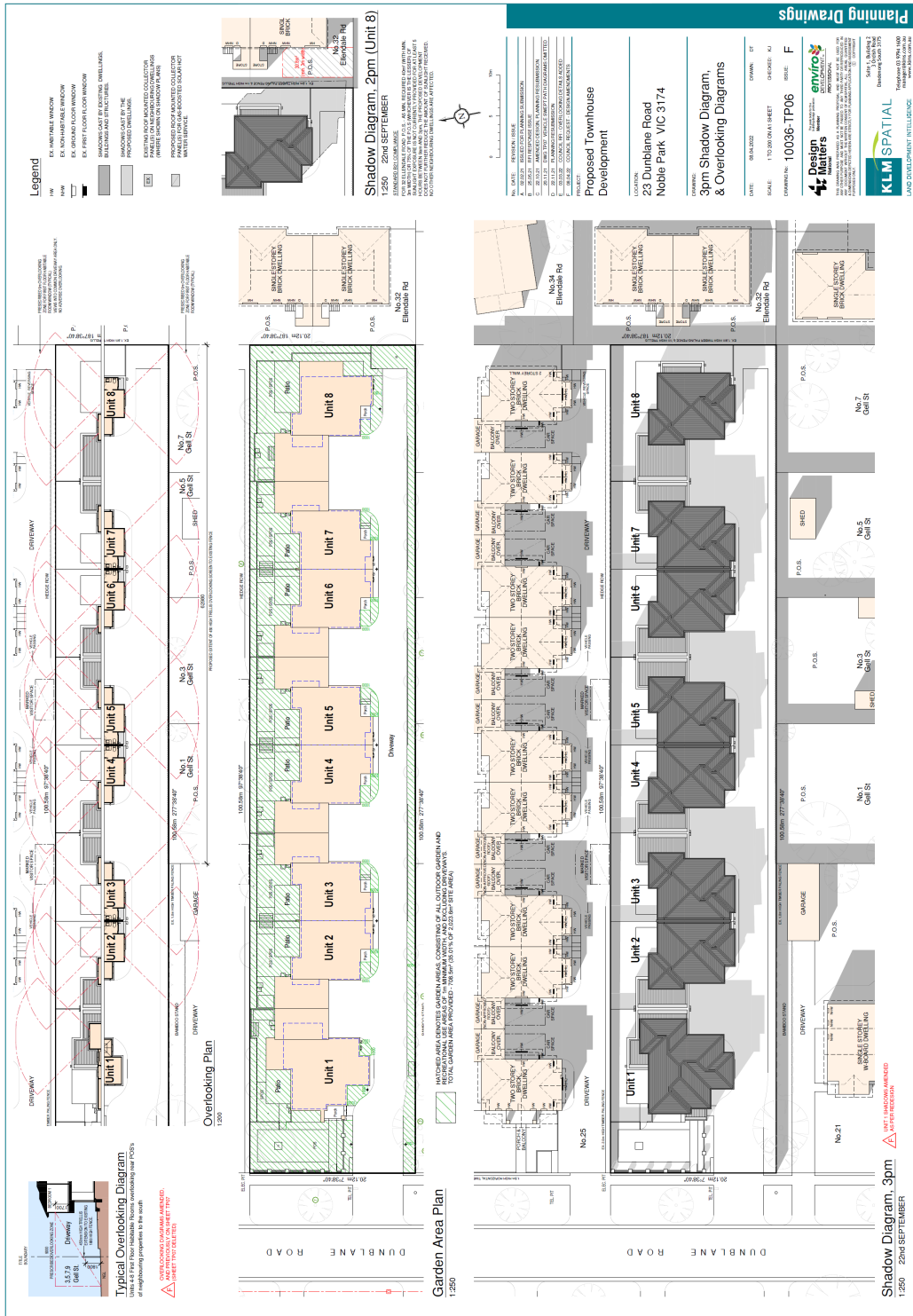
2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)



2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)



2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

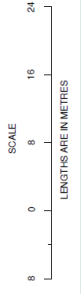


2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)



IMPORTANT NOTE
 This plan was prepared for KL Family Group Pty Ltd as a proposed subdivision to accompany a subdivision application to Greater Dandenong City Council and should not be used for any other purpose. The dimensions and total number of lots shown hereon are subject to field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation that could cause a change to this plan.
 KLM Spatial can therefore accept no responsibility for reliance on this plan for any financial dealings involving the land.
 This note is an integral part of this plan.
 This plan must not be passed on to any third party or reproduced in any documentation without the written approval of KLM Spatial.

NOTE
 Boundaries defined by buildings are shown by thick continuous lines.
 Location of Boundaries as defined by buildings:
 Median. Boundaries marked 'M'



Client: KL Family Group Pty Ltd
Address: 10088 PPR01
 Via 04852 Fd, 266
 Lot 1 on TP518071V
Reference: 10088 PPR01
Plan Date: 28.04.2022
Scale: 1:1400
Sheet: 1 of 1
Sheet Size: A3

Proposed Subdivision
23 Dunblane Road, NOBLE PARK 3174

KLM SPATIAL
 LAND DEVELOPMENT INTELLIGENCE
 ARCHITECTS



2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 23 DUNBLANE ROAD, NOBLE
PARK (PLANNING APPLICATION NO. PLN21/0092)**

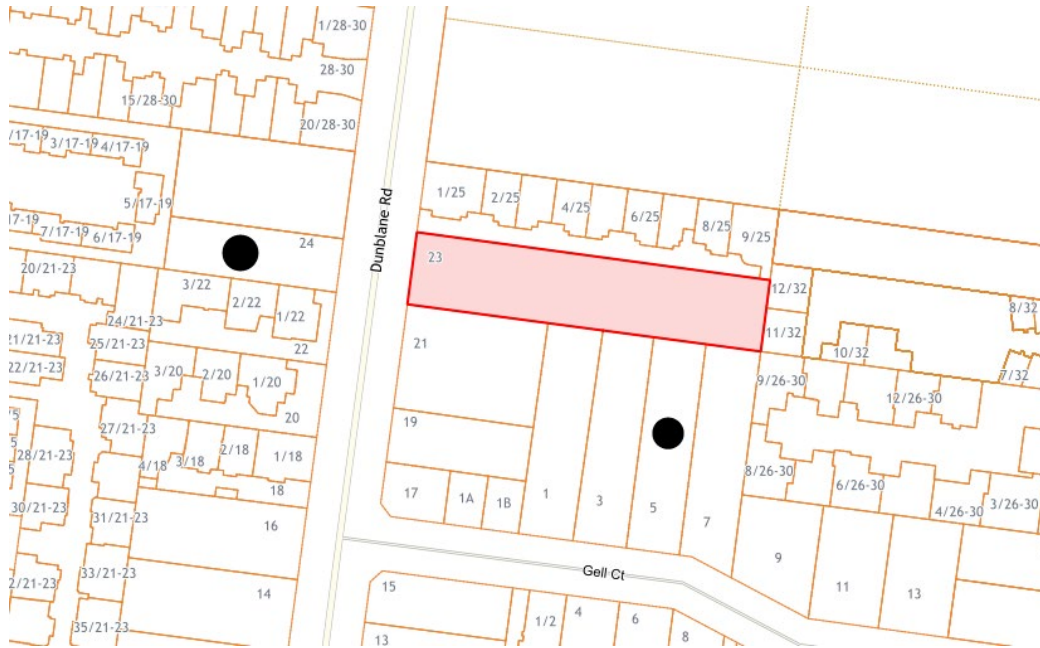
ATTACHMENT 2

LOCATION OF OBJECTORS

PAGES 2 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)



Subject Site



LOCATION OF OBJECTOR

MELWAY MAP REF: 89 – G1

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 23 DUNBLANE ROAD, NOBLE
PARK (PLANNING APPLICATION NO. PLN21/0092)**

ATTACHMENT 3

CLAUSE 22.09 ASSESSMENT

PAGES 11 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Assessment Table for Clause 22.09

Clause 22.09-3.1 Design Principles for all residential developments

Title /Objective	Principles	Principle met/Principle not met/NA
Safety	<p>To encourage the provision of safer residential neighbourhoods, new development should enable passive surveillance through designs that:</p> <p>Incorporate active frontages including ground floor habitable room windows.</p> <p>Maximise the number of habitable room windows on all levels of residential buildings that overlook the public realm, streets, laneways, internal access ways and car parking areas.</p> <p>Use semi-transparent fences to the street frontage.</p> <p>Light communal spaces including main entrances and car parking areas with high mounted sensor-lights.</p> <p>Ensure that all main entrances are visible and easily identifiable from the street.</p>	<p>Principle met/Principle not met/NA</p> <p>✓ Principle met The proposal would have active frontages with ground floor habitable room windows oriented towards the street and common accessway.</p> <p>✓ Principle met Passive surveillance of street and public realm is provided through windows fronting the street at both ground and upper floor levels. Habitable room windows are oriented towards the internal accessway and car parking areas.</p> <p>✓ Principle met A 1.2m high masonry pier & metal picket front fence is proposed.</p> <p>! Condition required High mounted sensor lighting should be requested above each garage together with bollard lighting along the common accessway to provide security at night. This could be conditioned.</p> <p>✓ Principle met Entrances would face the street and easily identifiable from the street.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	Locate non-habitable rooms such as bathrooms, away from entrances and street frontage.	<p>✓ Principle met Non habitable rooms would be away from the from the entrances and are considered appropriate.</p>
Landscaping	Residential development should: Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.	<p>✓ Principle met A landscape plan has been provided incorporating around the perimeter of the site including the provision of canopy trees.</p>
	Provide substantial, high quality landscaping along vehicular accessways.	<p>✓ Principle met A landscape plan has been provided incorporating planting along the common accessway.</p>
	Include the planting of at least one substantial canopy tree to each front setback and ground level secluded private open space area.	<p>✓ Principle met A landscape plan has been provided incorporating canopy trees within the front setback and within the secluded private open space of each dwelling.</p>
	Planting trees that are common to and perform well in the area.	<p>✓ Principle met A landscape plan has been provided incorporating native canopy trees.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>Avoid the removal of existing mature trees by incorporating their retention into the site design.</p> <p>Use landscaping to soften the appearance of the built form when viewed from the street and to respect the amenity of adjoining properties.</p> <p>Ensure that landscaping also addresses the Safety Design Principles.</p> <p>Canopy trees should be planted in well proportioned setbacks/private open space that are sufficient to accommodate their future growth to maturity.</p> <p>Landscaping should minimise the impact of increased storm water runoff through water sensitive urban design and reduced impervious surfaces.</p>	<p>! Condition required There are several trees on the site which would be removed for the development. An Arboricultural Report has been submitted identifying the health of the trees to be removed. Council's arborist has reviewed the Arboricultural Report submitted with the application and advised that the trees are appropriate for removal. Council's arborist suggested that the tree on the nature strip (Tree No. 1 identified on the Arboricultural Report) at the front of the site and the large tree (Tree No. 3) on the adjoining land to the south be protected during construction. This could be conditioned.</p> <p>✓ Principle met The frontages would be capable of accommodating two canopy trees and more than 70% of the street frontage could accommodate landscaping which would be capable of softening the built form when viewed from the street.</p> <p>✓ Principle met A landscape plan has been provided incorporating native canopy trees.</p> <p>✓ Principle met The proposal would provide well-proportioned setbacks and private open space areas that would allow for canopy trees to be planted and grow to full maturity.</p> <p>✓ Principle met Landscaping is proposed that will have a water sensitive design.</p>
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If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.	<p>! Condition required</p> <p>A landscape plan has been provided incorporating native canopy trees. A rainwater tank could be requested as condition of any permit to be granted.</p>
Car parking	<p>The existing level of on-street car parking should be maintained by avoiding second crossovers on allotments with frontage widths less than 17 metres.</p> <p>On-site car parking should be:</p> <ul style="list-style-type: none"> Well integrated into the design of the building, Generally hidden from view or appropriately screened where necessary, Located to the side or rear of the site so as to not dominate the streetscape and to maximise soft landscaping opportunities at ground level. <p>Where car parking is located within the front setback it should be:</p> <ul style="list-style-type: none"> Fully located within the site boundary; and Capable of fully accommodating a vehicle between a garage or carport and the site boundary. <p>Developments with basement car parking should consider flooding concerns where applicable.</p>	<p>✓ Principle met</p> <p>The existing crossover would be retained and modified to service the entire development. No new crossover is proposed.</p> <p>✓ Principle met</p> <p>All car spaces would be located behind Unit 1. The garages and tandem car spaces are well integrated with the development and hidden from the street.</p> <p>✓ Principle met</p> <p>No parking is located within the frontage.</p> <p>Not Applicable</p> <p>Basement parking not proposed</p>
Setbacks, front boundary and width	<p>Residential developments should:</p> <p>Provide a front setback with fence design and height in keeping with the predominant street pattern.</p> <p>Maintain the apparent frontage width pattern.</p> <p>Provide appropriate side setbacks between buildings to enable screen planting where required, and at least one generous side setback to enable the retention of trees and/or the planting and future growth of trees to maturity.</p>	<p>✓ Principle met</p> <p>The proposed setbacks are in keeping with the adjoining dwellings and streetscape pattern. A 1.2m high masonry pier & metal picket front fence is proposed.</p> <p>✓ Principle met</p> <p>The existing frontage width pattern would not be significantly altered.</p> <p>✓ Principle met</p> <p>Side setbacks would allow for tree planting.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Private open space	Provide open or low scale front fences to allow a visual connection between landscaping in front gardens and street tree planting.	<p>✓ Principle met A 1.2m high masonry pier & metal picket front fence is proposed.</p> <p>✓ Principle met Each dwelling complies with the minimum secluded private open space areas under the Schedule to the Zone and is directly accessible from the main living area.</p> <p>✓ Principle met Indicative landscaping suggests that the private open spaces are usable spaces for domestic services and outdoor furniture and is capable of accommodating boundary landscaping.</p> <p>✓ Principle met The primary secluded private open spaces of the dwellings would be orientated to the north.</p> <p>✓ Principle met The upper floors do not encroach on the ground floor private open space</p> <p>Not Applicable Apartments not proposed</p>
Bulk & Built Form	<p>All residential developments should provide good quality, useable private open space for each dwelling directly accessible from the main living area.</p> <p>Ground level private open space areas should be able to accommodate boundary landscaping, domestic services and outdoor furniture so as to maximise the useability of the space.</p> <p>Private open space should be positioned to maximise solar access.</p> <p>Upper floor levels of the same dwelling should avoid encroaching secluded private open space areas to ensure the solar access, useability and amenity of the space is not adversely affected.</p> <p>Upper level dwellings should avoid encroaching the secluded private open space of a separate lower level dwelling so as to ensure good solar access and amenity for the lower level dwelling.</p> <p>All residential developments should respect the dominant façade pattern of the streetscape by:</p> <ul style="list-style-type: none"> • Using similarly proportioned roof forms, windows, doors and verandahs; and • Maintaining the proportion of wall space to windows and door openings. <p>Balconies should be designed to reduce the need for screening from adjoining dwellings and properties.</p>	<p>✓ Principle met The proposed dwellings are designed to be in keeping with the streetscape and neighbourhood character. The proposal has incorporated a similar roof form, with a pitched roof with eaves. Windows, doors and roof proportions and heights are respectful of the dominant façade pattern within the broader area.</p> <p>✓ Principle met Balconies are not proposed</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>The development of new dwellings to the rear of existing retained dwellings is discouraged where:</p> <ul style="list-style-type: none"> The siting of the retained dwelling would not enable an acceptable future site layout for either the proposed or future dwelling; or The retention of the existing dwelling detracts from the identified future character. <p>On sites adjacent to identified heritage buildings, infill development should respect the adjoining heritage by:</p> <ul style="list-style-type: none"> Not exceeding the height of the neighbouring significant building; Minimising the visibility of higher sections of the new building; and Setting higher sections back at least the depth of one room from the frontage. 	<p>✓ Principle met The existing dwelling would be demolished for the proposed development.</p> <p>✓ Principle met The site is not adjacent to a heritage building</p>
<p>Site Design</p>	<p>Residential development should:</p> <p>Preserve the amenity of adjoining dwellings through responsive site design that considers the privacy, solar access and outlook of adjoining properties.</p> <p>Maximise thermal performance and energy efficiency of the built form by addressing orientation, passive design and fabric performance</p> <p>Ensure that building height, massing articulation responds sensitively to existing residential interfaces, site circumstances, setbacks and streetscape and reduces the need for screening.</p> <p>Provide sufficient setbacks (including the location of basements) to ensure the retention of existing trees and to accommodate the future growth of new trees.</p> <p>Provide suitable storage provisions for the management of operational waste</p> <p>Appropriately located suitable facilities to encourage public transport use, cycling and walking.</p>	<p>✓ Principle met No issues identified in regard to the overlooking and overshadowing in the Clause 55 assessment.</p> <p>✓ Principle met Large windows are proposed to enable thermal performance and lessen reliance on artificial heating and cooling.</p> <p>✓ Principle met The development would orientate the majority of habitable room windows toward the street where possible to limit the need for screening.</p> <p>✓ Principle met Sufficient setbacks are provided to the front, side and rear to allow for canopy and screen planting.</p> <p>✓ Principle met Storage areas have been provided for each dwelling.</p> <p>✓ Principle met The site is located conveniently close to the Noble Park Train Station which is 500m to the southwest.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Materials & Finishes	Residential development should: Use quality, durable building materials and finishes that are designed for residential purposes.	<p>✓ Principle met The proposed materials of face bricks and rendered bricks are similar to those found in surrounding residential developments.</p> <p>✓ Principle met Materials are suited to residential developments</p> <p>✓ Principle met The proposal has been well articulated through variation to form and materials and varying setbacks.</p> <p>✓ Principle met The colour palette is of a consistent simple nature.</p> <p>✓ Principle met The materials chosen are durable.</p>
	Avoid the use of commercial or industrial style building materials and finishes.	
	Avoid using materials such as rendered cement sheeting, unarticulated surfaces and excessive repetitive use of materials.	
	Use a consistent simple palette of materials, colours finishes and architectural detailing.	
	Maximise the ongoing affordability and sustainability of residential developments through the selection of low maintenance, resource and energy efficient materials and finishes that can be reasonably expected to endure for the life of the building.	
	Domestic services normal to a dwelling and Building services	<p>In order to minimise the impact of domestic and building services on the streetscape, adjacent properties, public realm and amenity of future residents, new residential development should:</p> <p>Ensure that all domestic and building services are visually integrated into the design of the building and appropriately positioned or screened so as to not be seen from the street or adjoining properties.</p> <p>Be designed to avoid the location of domestic and building services:</p> <ul style="list-style-type: none"> • Within secluded private open space areas, including balconies; and • Where they may have noise impacts on adjoining habitable rooms and secluded private open space areas. <p>✓ Principle met The proposed mail boxes are located adjacent to the street.</p> <p>✓ Principle met Domestic services would be located away from the prime secluded private open space areas. The proposed mail boxes are located adjacent to the streets.</p>
	Internal Amenity	<p>Residential development should:</p> <p>Ensure that dwelling layouts have connectivity between the main living area and private open space.</p> <p>✓ Principle met Living room and prime POS for each dwelling is connected.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>Be designed to avoid reliance on borrowed light to habitable rooms.</p> <p>Ensure that balconies and habitable room windows are designed and located to reduce the need for excessive screening.</p> <p>Ensure that dwellings without ground level main living areas meet the Standards of Clauses 55.03-5, 55.04-1, 6 & 7, 55.05-3, 4 & 5.</p>	<p>✓ Principle met Windows are provided to all habitable rooms and would not rely on borrow light.</p> <p>✓ Principle met The development would orientate the majority of habitable room windows toward the street or common accessway.</p> <p>✓ Principle met All the dwellings would have ground floor living areas.</p>
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If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 22.09-3.3 Design principles for Incremental Change Areas – General Residential Zone (GRZ)		Principle met/Principle not met/NA
Titles & Objectives	Principles	
Preferred housing type	The preferred housing type for the Incremental Change Area is medium density.	✓ Principle met Medium density proposed
Building Height	The preferred maximum building height for land within the GRZ1 and GRZ2 is up to 2 storeys, including ground level. The preferred maximum building height for land within the GRZ3 is 3 storeys, including ground level.	✓ Principle met Two storeys proposed
Landscaping	Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties	✓ Principle met Adequate space would be reserved for landscaping which could accommodate canopy trees. A landscape plan including canopy trees has been provided.
Setbacks, front boundary and width	Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street.	✓ Principle met Paving is limited to the 6.1-metre wide crossover and a pedestrian accessway.
Private open space	Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing.	✓ Principle met The secluded private open space is located at either the side or rear of the dwellings.
Bulk & Built Form	Residential development should: <ul style="list-style-type: none"> ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape; be well articulated through the use of contrast, texture, variation in forms, materials and colours. 	✓ Principle met The built form is not dissimilar to the surrounding developments.
	Residential development in the GRZ1 and GRZ2 should: <ul style="list-style-type: none"> provide separation between dwellings at the upper level; retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space; position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot. 	✓ Principle met The first floors of Units 2 and 3 would be attached as well as the first floors of Units 4 and 5 and Units 6 and 7. The extent of the first floor attachments are not excessive. It is noted that the adjoining development to the north has similar first floor attachment. The first floor attachment to some sections of the development is not out of character to the area. No clear spine of open space located on the site.

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>Within the GRZ1 and GRZ2 the rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.</p> <p>Two storey dwellings to the rear of a lot in the GRZ1 and GRZ2 may be considered where:</p> <ul style="list-style-type: none"> the visual impact of the building bulk does not adversely affect the identified future character of the area; overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties; the building bulk does not adversely affect the planting and future growth of canopy trees to maturity; sufficient side and rear boundary landscaping can be provided to screen adjoining properties; upper storey components are well recessed from adjoining sensitive interfaces. 	<p>✓ Principle met</p> <p>No clear spine of open space located on the site. The proposed two storey dwelling to the rear of the lot is considered appropriate due to the following:</p> <ul style="list-style-type: none"> The adjoining land to the north also has double storey dwellings throughout the depth of the lot including the last dwelling at the rear. The two storey dwellings would not result in visual bulk to the surrounding developments or the streets due to the well articulated design. The proposed development would not result in overlooking or overshadowing to the secluded private open spaces or habitable room windows of the adjoining properties. The proposed development would have adequate space for canopy trees including space for future canopy trees spread as the first floors would not cantilever over the ground floors. The landscape plan shows that there would be substantial landscaping along the front, side and rear boundaries. The upper storey of Unit 8 is well recessed from the ground floor and well setbacks from the adjoining properties.
	<p>Separation between upper levels of dwellings on a site in the GRZ3 is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts.</p>	<p>N/A</p> <p>The site is within the GRZ1 and not within the GRZ3.</p>

Note: Other requirements also apply. These can be found at the schedule to the applicable zone.

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 23 DUNBLANE ROAD, NOBLE
PARK (PLANNING APPLICATION NO. PLN21/0092)**

ATTACHMENT 4

CLAUSE 52.06 ASSESSMENT

PAGES 6 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Assessment Table - Clause 52.06

Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise. Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

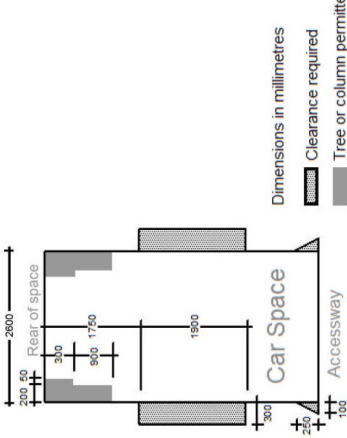
Design Standards	Assessment	Requirement met/Requirement not met/NA
Design standard 1 - Accessways	Accessways must: <ul style="list-style-type: none"> Be at least 3 metres wide. Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide. Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre. Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres. If the accessway serves four or more car spaces or connects to a road in a Transport Zone 2 or Transport Zone 3, the accessway must be designed so that cars can exit the site in a forward direction. Provide a passing area at the entrance at least 6.1 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in a Transport Zone 2 or Transport Zone 3. 	<p>✓ Standard met The proposed accessway would be 6.1 metres wide for a length of 7m. The accessway would narrow down to 3m throughout the length of the site. The proposal was referred to Council's Transport Planning team, who had no concern with the proposed parking layout.</p> <p>✓ Standard met There would be internal radius of 4m for vehicles to turn on the site and exit in a forward direction from the common driveway.</p> <p>Not Applicable</p> <p>✓ Standard met The accessway or garage doors would have a headroom clearance of at least 2.1m.</p> <p>✓ Standard met There would be internal radius of 4m for vehicles to turn on the site and exit in a forward direction from the common driveway.</p> <p>✓ Standard met The accessway would serve seventeen (17) car spaces and would be up to 97m long. A passing area measuring 6.1 metres wide for a length of 7m would be provided.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<ul style="list-style-type: none"> Have a corner splay or area at least 50 percent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height. <p>If an accessway to four or more car parking spaces is from land in a Transport Zone 2 or Transport Zone 3, the access to the car spaces must be at least 6 metres from the road carriageway.</p> <p>If entry to the car space is from a road, the width of the accessway may include the road.</p>	<p>! Condition required</p> <p>The ground floor plan has annotated that the 2m x 2.5m splay at the entrance of the driveway would have a minimum 50% clear sight line at vehicle exit to maximum height of 1m above natural ground level.</p> <p>Any structure within the splayed area should be lowered to 0.9m high. This could be conditioned.</p> <p>Not Applicable</p> <p>The site does not adjoin a Transport Zone.</p> <p>Not Applicable</p>																																
<p>Design standard 2 – Car parking spaces</p>	<p>Car parking spaces and accessways must have the minimum dimensions as outlined in Table 2.</p> <p>Table 2: Minimum dimensions of car parking spaces and accessways</p> <table border="1" data-bbox="630 884 917 1556"> <thead> <tr> <th>Angle of car parking spaces to access way</th> <th>Accessway width</th> <th>Car space width</th> <th>Car space length</th> </tr> </thead> <tbody> <tr> <td>Parallel</td> <td>3.6 m</td> <td>2.3 m</td> <td>6.7 m</td> </tr> <tr> <td>45°</td> <td>3.5 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>60°</td> <td>4.9 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>90°</td> <td>6.4 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.8 m</td> <td>2.8 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.2 m</td> <td>3.0 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>4.8 m</td> <td>3.2 m</td> <td>4.9 m</td> </tr> </tbody> </table> <p><i>Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard AS2890.6-2009 (disabled).</i></p>	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length	Parallel	3.6 m	2.3 m	6.7 m	45°	3.5 m	2.6 m	4.9 m	60°	4.9 m	2.6 m	4.9 m	90°	6.4 m	2.6 m	4.9 m		5.8 m	2.8 m	4.9 m		5.2 m	3.0 m	4.9 m		4.8 m	3.2 m	4.9 m	<p>! Condition required</p> <p>Based on the scale provided, the tandem car spaces of Units 2 to 7 appear to be more than 2.6m wide by 4.9m long. A condition could be included on any permit to be granted to confirm the required dimensions.</p>
Angle of car parking spaces to access way	Accessway width	Car space width	Car space length																															
Parallel	3.6 m	2.3 m	6.7 m																															
45°	3.5 m	2.6 m	4.9 m																															
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	4.8 m	3.2 m	4.9 m																															

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<p>✓ Standard met Proposed garages and car spaces provided would have sufficient internal clearance and not obstructed.</p>	<p>A wall, fence, column, tree, tree guard or any other structure that abuts a car space must not encroach into the area marked 'clearance required' on Diagram 1, other than:</p> <ul style="list-style-type: none"> • A column, tree or tree guard, which may project into a space if it is within the area marked 'tree or column permitted' on Diagram 1. • A structure, which may project into the space if it is at least 2.1 metres above the space. <p>Diagram 1 Clearance to car parking spaces</p>  <p>Dimensions in millimetres ■ Clearance required ■ Tree or column permitted</p>	<p>✓ Standard met The double garages provided would be 5.5m wide x 6m long and single garages would be 3.5m wide by 6m long.</p>
<p>! Condition required Based on the scale provided, the gap between the garages and tandem car spaces appears to be 500mm. A condition could be included on any permit to be granted to confirm the dimension.</p>	<p>Where parking spaces are provided in tandem (one space behind the other) an additional 500mm in length must be provided between each space.</p>	<p>✓ Standard met Each dwelling would have at least 1 undercover car space.</p>
<p>✓ Standard met Each dwelling would have at least 1 undercover car space.</p>	<p>Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.</p>	<p>✓ Standard met Each dwelling would have at least 1 undercover car space.</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.</p>	<p>Not Applicable</p>													
<p>Design standard 3: Gradients</p>	<p>Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.</p> <p>Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.</p> <p>Table 3: Ramp gradients</p> <table border="1" data-bbox="499 880 708 1559"> <thead> <tr> <th>Type of car park</th> <th>Length of ramp</th> <th>Maximum grade</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Public car parks</td> <td>20 metres or less</td> <td>1:5 (20%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:6 (16.7%)</td> </tr> <tr> <td rowspan="2">Private or residential car parks</td> <td>20 metres or less</td> <td>1:4 (25%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:5 (20%)</td> </tr> </tbody> </table> <p>Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.</p> <p>Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.</p>	Type of car park	Length of ramp	Maximum grade	Public car parks	20 metres or less	1:5 (20%)	longer than 20 metres	1:6 (16.7%)	Private or residential car parks	20 metres or less	1:4 (25%)	longer than 20 metres	1:5 (20%)	<p>✓ Standard met The land has a fall of 5.4m from the rear to the front. The grades of the driveway would not be steeper than 1:10 within 5m of the frontage.</p> <p>✓ Standard met</p>
Type of car park	Length of ramp	Maximum grade													
Public car parks	20 metres or less	1:5 (20%)													
	longer than 20 metres	1:6 (16.7%)													
Private or residential car parks	20 metres or less	1:4 (25%)													
	longer than 20 metres	1:5 (20%)													
<p>Design standard 4: Mechanical parking</p>	<p>Mechanical parking may be used to meet the car parking requirement provided:</p> <ul style="list-style-type: none"> At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of at least 1.8 metres. Car parking spaces the require the operation of the system are not allowed to visitors unless used in a valet parking situation. The design and operation is to the satisfaction of the responsible authority. 	<p>Not Applicable No mechanical parking proposed.</p> <p>Not Applicable</p> <p>Not Applicable</p>													
<p>Design standard 5: Urban design</p>	<p>Ground level car parking, garage doors and accessways must not visually dominate public space.</p>	<p>✓ Standard met All car spaces would be behind Unit 1 and not dominate the street.</p>													

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.</p> <p>Design of car parks must take into account their use as entry points to the site.</p> <p>Design of new internal streets in developments must maximise on street parking opportunities.</p> <p>Car parking must be well lit and clearly signed.</p>	<p>✓ Standard met Car parking within the garages would integrate with the design of the building and would not be visually dominating.</p> <p>✓ Standard met Proposed car parks are appropriate.</p> <p>Not Applicable</p>
Design standard 6: Safety	<p>Car parking must be well lit and clearly signed.</p> <p>The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.</p> <p>Pedestrian access to car parking areas from the street must be convenient.</p> <p>Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.</p>	<p>! Condition required Security lighting could be required as a condition of any permit to be granted.</p> <p>✓ Standard met The car spaces and common driveway would have natural surveillance from the ground floors habitable room windows.</p> <p>✓ Standard met Access to the car parking areas would be convenient from the street.</p> <p>✓ Standard met The street adjoining the site is not a high traffic street.</p>
Design standard 7: Landscaping	<p>The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.</p> <p>Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.</p> <p>Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.</p>	<p>✓ Standard met Landscaping would be provided along both sides of the accessway to provide adequate catchment areas for water run-off.</p> <p>✓ Standard met Landscaping would be provided along both sides of the accessway to soften the appearance of the driveway.</p> <p>✓ Standard met Substantial landscaping and adequate spacing for canopy trees have been provided.</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 23 DUNBLANE ROAD, NOBLE
PARK (PLANNING APPLICATION NO. PLN21/0092)**

ATTACHMENT 5

CLAUSE 55 ASSESSMENT

PAGES 31 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Assessment Table - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)

Clause 55.02-1 Neighbourhood character objectives

Title & Objective	Standard (Summarised)	Standard Met/Standard Not Met/NA
Standard B1	The design response must be appropriate to the neighbourhood and the site.	<p>Standard met</p> <p>The design response is considered appropriate in the context of the site and surrounding area, with a proposal for a medium density residential development in an established and well-serviced area.</p> <p>At a site level, the design response has considered matters relating to overshadowing and overlooking, with compliance with all relevant standards and objectives.</p> <p>The provision of areas of landscaping responds to the landscaped character of the surrounding area and the use of brickwork, rendered first floor and pitched roofing generally matches the style and materials palette of the wider area.</p> <p>The proposal has been designed in a way to respect the area while delivering on the expectations for medium density development.</p> <p>See Clause 22.09 Assessment for further discussion.</p>
Decision Guidelines	<p>The proposed design response must respect the existing or preferred neighbourhood character and respond to the features of the site.</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The neighbourhood and site description.</p> <p>The design response.</p>	<p>Standard met</p> <p>See Clause 22.09 Assessment for further discussion.</p>
Objectives	<p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.02-2 Residential policy objectives

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B2	An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the PPF and the LPPF, including the MSS and local planning policies.	The PPF and the LPPF including the MSS and local planning policies. The design response.	Standard met The application was accompanied by a written assessment of the proposal against the relevant PPF and Local Policies.
Decision Guidelines	To ensure that residential development is provided in accordance with any policy for housing in the PPF and the LPPF, including the MSS and local planning policies. To support medium densities in areas where development can take advantage of public and community infrastructure and services.		Objective met

Clause 55.02-3 Dwelling diversity objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B3	Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: <ul style="list-style-type: none"> • Dwellings with a different number of bedrooms. • At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 		N/A As less than 10 dwellings proposed.
Objective	To encourage a range of dwellings sizes and types in developments of ten or more dwellings.		Objective met

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.02-4 Infrastructure objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B4	<p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p>Standard met Development can be suitably accommodated into infrastructure of the established area.</p> <p>Standard met Development can be suitably accommodated into infrastructure of the established area.</p> <p>Standard met Development can be suitably accommodated into infrastructure of the established area.</p>
Decision Guidelines	<p>The capacity of the existing infrastructure.</p> <p>In the absence of reticulated sewerage, a Land Capability Assessment on the risks to human health and the environment of an on-site wastewater management system constructed, installed or altered on the lot in accordance with the requirements of the Environment Protection Regulations under the Environment Protection Act 2017.</p> <p>If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system.</p>	
Objectives	<p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p>Objective met</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.02-5 Integration with the street objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B5	Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Developments should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space. Any relevant urban design objective, policy or statement set out in this scheme. The design response.	✓ Standard met Each dwelling is accessible by vehicles and pedestrians. ✓ Standard met The front dwelling would face Dunblane Road. The remaining units face the internal accessway. ✓ Standard met A 1.2m high masonry pier & metal picket front fence is proposed. N/A The site is not next to public open space.
Decision Guidelines		
Objective	To integrate the layout of development with the street.	✓ Objective met

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.03-1 Street setback objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B6	Walls of buildings should be set back from streets: <ul style="list-style-type: none"> • At least the distance specified in a schedule to the zone, or • If no distance is specified in a schedule to the zone, the distance specified in Table B1. Porches, pergolas, and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. GRZ1: 7.5 metres or as per Table B1, whichever is the lesser.	✓ Standard met The proposed Unit 1 would have a front setback from Dunblane Road of 7.6m.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
	There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable
	There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable
	There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Not applicable
	The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots. The visual impact of the building when viewed from the street and from adjoining properties. The value of retaining vegetation within the front setback. To ensure that the setbacks of buildings from a street respect the existing or preferred		
Objective	✓ Objective met		

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

neighbourhood character and make efficient use of the site.	
Clause 55.03-2 Building height objective	
Title & Objective	Standards
Standard B7	<p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. GRZ: 11 metres / 3 storeys mandatory maximum (refer Clause 32.08-9)</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p>
	<p>Standard Met/Standard Not Met/NA</p> <p>✓ Standard met Proposed maximum height is 8.1m (Unit 7 – South elevation).</p> <p>N/A</p> <p>✓ Standard met The proposed first floors would be generally recessed from the ground floors to provide a transition of single storey element to the surrounding developments.</p>
Decision Guidelines	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.</p> <p>The design response.</p> <p>The effect of the slope of the site on the height of the building.</p> <p>The relationship between the proposed building height and the height of existing adjacent buildings.</p> <p>The visual impact of the building when viewed from the street and from adjoining properties.</p>
Objective	<p>To ensure that the height of buildings respects the existing or preferred neighbourhood character</p> <p>✓ Objective met</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.03-3 Site coverage objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B8	The site area covered by buildings should not exceed: <ul style="list-style-type: none"> • The maximum site coverage specified in a schedule to the zone, or • If no maximum site coverage is specified in a schedule to the zone, 60 per cent. 	<ul style="list-style-type: none"> • The site area covered by buildings should not exceed: • The maximum site coverage specified in a schedule to the zone, or • If no maximum site coverage is specified in a schedule to the zone, 60 per cent. 	✓ Standard met Lot size 2023sqm Maximum site coverage permitted: 60%. Site coverage provided: 36.7%
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The existing site coverage and any constraints imposed by existing development or the features of the site. The site coverage of adjacent properties The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.		
Objective	To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.		✓ Objective met

Clause 55.03-4 Permeability objectives

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B9	The site area covered by the pervious surfaces should be at least: <ul style="list-style-type: none"> • The minimum areas specified in a schedule to the zone, or • If no minimum is specified in a schedule to the zone, 20 per cent of the site. The stormwater management system should be designed to: <ul style="list-style-type: none"> • Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999). • Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces. GRZ1: 30%	<ul style="list-style-type: none"> • The site area covered by the pervious surfaces should be at least: • The minimum areas specified in a schedule to the zone, or • If no minimum is specified in a schedule to the zone, 20 per cent of the site. The stormwater management system should be designed to: <ul style="list-style-type: none"> • Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999). • Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces. GRZ1: 30%	✓ Standard met Minimum permeability required: 30%. Permeability provided: 30.1%.
Decision	The design response.		

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Guidelines	The existing site coverage and any constraints imposed by existing development.
	The existing site coverage and any constraints imposed by existing development.
	The capacity of the drainage network to accommodate additional stormwater.
	The capacity of the site to absorb run-off.
	The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres.
Objectives	Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system.
	To reduce the impact of increased stormwater run-off on the drainage system.
	To facilitate on-site stormwater infiltration.
	To encourage stormwater management that maximises the retention and reuse of stormwater.
	✓ Objective met

Clause 55.03-5 Energy efficiency objectives

Clause 55.03-5 Energy efficiency objectives		Standard Met/Standard Not Met/NA
Title & Objective	Standards	
Standard B10	Buildings should be: <ul style="list-style-type: none"> Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged Living areas and private open space should be located on the north side of the development, if practicable.	Standard Met/Standard Not Met/NA ✓ Standard met All the dwellings would be provided with north-facing windows.
	Developments should be designed so that solar access to north-facing windows is maximised.	✓ Standard met The primary secluded private open spaces of the dwellings would be orientated to the north.
Decision Guidelines	The design response. The size, orientation and slope of the lot. The existing amount of solar access to abutting properties. The availability of solar access to north-facing windows on the site.	✓ Standard met All the dwellings would be provided with north-facing windows.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>The extent to which an existing rooftop solar energy system on an adjoining lot is overshadowed by existing buildings or other permanent structures.</p> <p>Whether the existing rooftop solar energy system on an adjoining lot is appropriately located.</p> <p>The effect of overshadowing on an existing rooftop solar energy system on an adjoining lot.</p> <p>To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p>	
Objectives		✓ Objective met

Clause 55.03-6 Open space objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B11	<p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> • Be substantially fronted by dwellings, where appropriate. • Provide outlook for as many dwellings as practicable. • Be designed to protect any natural features on the site. • Be accessible and useable. 	<p>N/A</p> <p>No communal or public open space proposed.</p>
Decision Guidelines	<p>Any relevant plan or policy for open space in the Municipal Planning Strategy and the Planning Policy Framework</p> <p>The design response.</p>	
Objective	To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	✓ Objective met

Clause 55.03-7 Safety objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B12	<p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p>	<p>Standard met</p> <p>The entry to each dwelling would be visible from Dunblane Road or the accessway.</p> <p>Standard met</p> <p>Planting along the shared accessways would be low ground cover plants which would not reduce visibility of the entrances of the dwellings.</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p>! Condition required Security lighting provided could be required above each garage and along the common driveway. This could be conditioned.</p> <p>✓ Standard met Private spaces are delineated by fencing.</p>
<p>Decision Guidelines</p>	<p>The design response.</p>	
<p>Objectives</p>	<p>To ensure the layout of development provides for the safety and security of residents and property.</p>	<p>✓ Objective met</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.03-8 Landscaping objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B13	The landscape layout and design should: <ul style="list-style-type: none"> • Protect any predominant landscape features of the neighbourhood. • Take into account the soil type and drainage patterns of the site. • Allow for intended vegetation growth and structural protection of buildings. • In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. • Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.	<p>Standard met/Standard Not Met/NA</p> <p>✓ Standard met A landscape plan has been provided incorporating canopy trees within the front setback and within the secluded private open space of each dwelling.</p>
		<p>✓ Standard met There are several trees on the site which would be removed for the development. An Arboricultural Report has been submitted identifying the health of the trees to be removed. Council's arborist has reviewed the Arboricultural Report submitted with the application and advised that the trees are appropriate for removal. The trees to be removed are not significant to the area. The landscape plan provided has incorporated replacement trees to be provided.</p>
	Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made	<p>✓ Standard met No significant trees would be removed. A landscape plan has been provided incorporating canopy trees within the front setback and within the secluded private open space of each dwelling.</p>
	The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.	<p>✓ Standard met As above, a landscape plan has been provided.</p>
	Development should meet any additional landscape requirements specified in a schedule to the zone. All schedules to all residential zones: "70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees."	<p>✓ Standard met 70% of the front, side and rear setback areas would be provided with landscaping.</p>
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. Any relevant plan or policy for landscape design in the Municipal Planning Strategy and the Planning Policy Framework. The design response.	

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>The location and size of gardens and the predominant plant types in the neighbourhood.</p> <p>The health of any trees to be removed.</p> <p>Whether a tree was removed to gain a development advantage.</p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>
Objectives	<p>! Objective met subject to conditions</p>

Clause 55.03-9 Access objective

Standards		Standard Met/Standard Not Met/NA
Title & Objective		
Standard B14	<p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> • 33 per cent of the street frontage, or • if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>Standard met</p> <p>Street frontage to Dunblane Road = 20.12m Maximum accessway width permitted: 33% or 6.64m Accessway width provided: 30.3% or 6.1m</p> <p>Standard met.</p> <p>The crossover would be 6.1m wide which would be shared by all eight (8) dwellings. The crossover is not provided to any individual dwelling and complies.</p> <p>Standard met</p> <p>Whilst one (1) on-street car space would be lost due to the proposed 6.1m wide crossover, the width of the crossover is necessary to provide a passing area at the front of the site required by Design Standard 1 of Clause 52.06 (Car Parking). There would be adequate space adjacent to the site to accommodate one (1) on-street parking.</p> <p>N/A</p> <p>The site does not adjoin a Transport Zone.</p> <p>Standard met</p> <p>The accessway provided would be adequate in size for service, emergency and delivery vehicles.</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

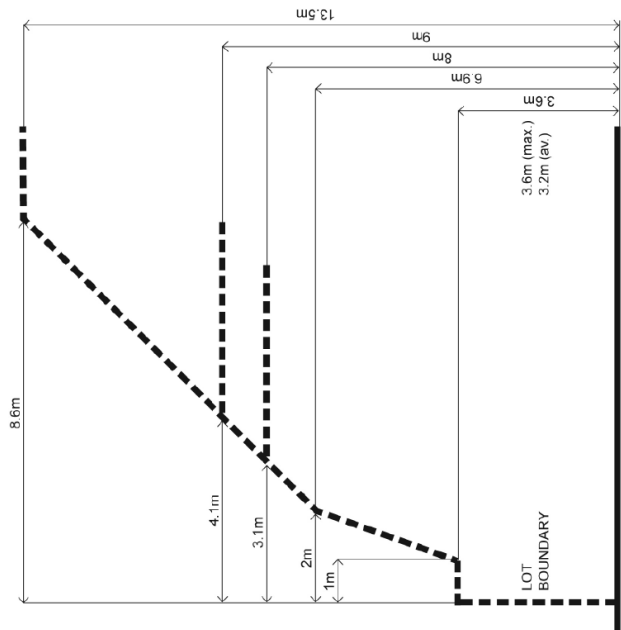
Decision Guidelines	<p>The design response.</p> <p>The impact on neighbourhood character.</p> <p>The reduction of on-street car parking spaces.</p> <p>The effect on any significant vegetation on the site and footpath.</p>
Objectives	<p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>
	<p>✓ Objective met</p>

Clause 55.03-10 Parking location objectives

Standards		Standard Met/Standard Not Met/NA
Title & Objective		
Standard B15	<p>Car parking facilities should:</p> <ul style="list-style-type: none"> • Be reasonably close and convenient to dwellings and residential buildings. • Be secure. • Be well ventilated if enclosed. <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>Standard met</p> <p>Car parking facilities for each dwelling would be close and convenient for each dwelling. The garages of each dwelling would be secure and would be capable of being well ventilated.</p> <p>! Variation required / condition required</p> <p>The south facing living room windows of Units 2 to 7 would be less than 1m from the common accessway. It is recommended that noise attenuated glazing should be provided to the windows to limit vehicle noise from the common driveway to the window.</p> <p>It is considered that the objective is met as the noise attenuated glazing would limit noise from the driveway to the habitable room windows. In addition, the habitable room windows are to living rooms and not bedrooms. Thus, future residents would not be within the living rooms late into the night. The minor variation of 0.32m to the setback of these windows are considered acceptable in this instance.</p>
Decision Guidelines	<p>The design response.</p>	
Objectives	<p>To provide convenient parking for residents and visitors vehicles.</p> <p>To protect residents from vehicular noise within developments.</p>	<p>! Objective met subject to condition</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.04-1 Side and rear setbacks objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B17</p>	<p>A new building not on or within 200mm of a boundary should be setback from side or rear boundaries:</p> <ul style="list-style-type: none"> • At least the distance specified in a schedule to the zone, or • If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. <p>Diagram B1 Side and rear setbacks</p>  <p>The diagram illustrates a lot boundary (dashed line) and various setback lines. The setbacks from the boundary are: 1m, 2m, 3.1m, 4.1m, 6.9m, 8m, 9m, and 13.5m. A dashed line shows a height-based setback profile starting at 1m, rising to 2m at 3.6m height, then to 3.1m at 6.9m height, and finally to 4.1m at 8.6m height. The total height of the lot is 8.6m. The setbacks are labeled as 1m, 2m, 3.1m, 4.1m, 6.9m, 8m, 9m, and 13.5m. A 'LOT BOUNDARY' label is present at the bottom right of the diagram.</p>	<p>Standard met</p> <p>The diagrams on the elevation plans show that the walls not on the boundaries would be setback in accordance with this standard.</p>
	<p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may</p>	<p>Standard met</p> <p>There are no encroachments more than 0.5m into the</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	encroach not more than 0.5 metres into the setbacks of this standard.	setback area.
Decision Guidelines	<p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.</p> <p>Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.</p> <p>Whether the wall abuts a side or rear lane.</p> <p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>✓ Standard met There are no landings that encroach into the setback standard more than 2sqm and 1m high.</p>
Objectives		✓ Objective met

Clause 55.04-2 Walls on boundaries objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B18	<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary.</p> <ul style="list-style-type: none"> • For a length of more than the distance specified in the schedule to the zone; or • If no distance is specified in a schedule to the zone, for a length of more than: <ul style="list-style-type: none"> - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or - Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p>	<p>Standard Met/Standard Not Met/NA ✓ Standard met No wall is proposed on any boundaries.</p> <p>✓ Standard met</p> <p>✓ Standard met</p>

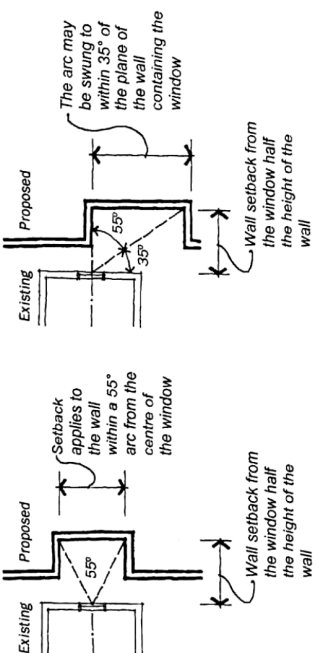
2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>The height of a new wall constructed on or within 200 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>✓ Standard met</p>
<p>Decision Guidelines</p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The extent to which walls on boundaries are part of the neighbourhood character.</p> <p>The impact on the amenity of existing dwellings.</p> <p>The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.</p> <p>The orientation of the boundary that the wall is being built on.</p> <p>The width of the lot.</p> <p>The extent to which the slope and retaining walls or fences reduce the effective height of the wall.</p> <p>Whether the wall abuts a side or rear lane.</p> <p>The need to increase the wall height to screen a box gutter.</p>	
<p>Objectives</p>	<p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>✓ Objective met</p>

Clause 55.04-3 Daylight to existing windows objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B19</p>	<p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p>	<p>Standard Met/Standard Not Met/NA</p> <p>✓ Standard met Light courts of habitable room windows on the adjoining properties would not be impacted by the proposed development.</p> <p>✓ Standard met Existing habitable room windows on adjoining properties would not be impacted by the proposal.</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

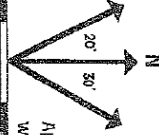
	<p>Diagram B2 Daylight to existing windows</p>  <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	
<p>Decision Guidelines</p>	<p>The design response.</p> <p>The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows.</p> <p>The impact on the amenity of existing dwellings.</p> <p>To allow adequate daylight into existing habitable room windows.</p>	
<p>Objective</p>		<p>✓ Objective met</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.04-4 North-facing windows objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B20</p>	<p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.</p> <p>Diagram B3 North-facing windows</p> <p>Diagram B3 North-facing windows</p> <p>NORTH FACING HABITABLE ROOM WINDOW</p> <p>SOUTH BOUNDARY</p>	<p>N/A</p> <p>There are no existing north facing windows on the adjoining property to the south within 3m of the southern boundary of the subject site. The closest dwelling on the adjoining land to the south is located 6.2m from the southern boundary of the subject site.</p>
<p>A north facing window is a window with an axis perpendicular to its surface orientated north 20 degrees west to north 30 degrees east.</p>		

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	 <p>Applies where existing HRW is between 20° West and 30° east from north</p>	
<p>Decision Guidelines</p>	<p>The design response: Existing sunlight to the north-facing habitable room window of the existing dwelling. The impact on the amenity of existing dwellings.</p>	
<p>Objective</p>	<p>To allow adequate solar access to existing north-facing habitable room windows.</p>	<p>✓ Objective met</p>
<p>Clause 55.04-5 Overshadowing open space objective</p>		
<p>Title & Objective</p>	<p>Standards</p>	<p>Standard Met/Standard Not Met/NA</p>
<p>Standard B21</p>	<p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 Sept.</p>	<p>✓ Standard met The only adjoining land that will be partially overshadowed by the proposed development is the adjoining land to the east at 11/22 Ellendale Road. However, only 1 hour at 3pm would be overshadowed. From 9am to 2pm, the proposed development would not overshadow the secluded private open space of 11/22 Ellendale Road and complies, as the standard requires only 5 hours between 9am to 3pm of the adjoining properties secluded private open space to be clear of overshadowing.</p>
<p>Decision Guidelines</p>	<p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced. The design response: The impact on the amenity of existing dwellings. Existing sunlight penetration to the secluded private open space of the existing dwelling. The time of day that sunlight will be available to the secluded private open space of the existing dwelling. The effect of a reduction in sunlight on the existing use of the existing secluded private open space.</p>	<p>✓ Standard met As above.</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<p>Objective</p>	<p>To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>✓ Objective met</p>
<p>Clause 55.04-6 Overlooking objective</p>		
<p>Title & Objective</p>		
<p>Standard B22</p>	<p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>Diagram B4 Overlooking open space</p>	<p>Standard Met/Standard Not Met/NA</p> <p>! Condition required</p> <p>All shared boundary fences with the adjoining properties would be at least 1.8m high. There would no overlooking from the ground floor habitable room windows to the adjoining properties.</p> <p>The adjoining property to the north contains nine (9) double storey dwellings with a common driveway located adjacent to the subject site. Thus, the proposed first floor north facing habitable room windows are not required to be obscured as they would only overlook the driveway of the adjoining land to the north.</p> <p>There would be no first floor habitable room windows facing the adjoining land to the east.</p> <p>To the south, the land at 21 Dunblane Road has a driveway located adjacent to the site. The land at Nos. 1, 3, 5 and 7 Gall Court have their secluded private open spaces located adjacent to the subject site.</p> <p>Whilst the 1.8m high southern boundary fence would provide some screening to the secluded private open spaces of the adjoining land to the south, due to the slope of the land which has a fall of up to 5m from the rear to the front which would exacerbate overlooking from the first floor south facing bedroom windows of Units 2 to 8. Therefore, it is recommended that fixed obscured glazing should be provided to these windows. This could be conditioned.</p>
	<p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at</p>	<p>✓ Standard met</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

	<p>ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> • Offset a minimum of 1.5 metres from the edge of one window to the edge of the other. • Have sill heights of at least 1.7 metres above floor level. • Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level. • Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be operable provided that there are no direct views as specified in this standard.</p>	<p>As above.</p> <p>✓ Standard met As above.</p>
	<p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> • Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. • Permanent, fixed and durable. • Designed and coloured to blend in with the development. <p>The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	<p>N/A</p> <p>✓ Standard met As above.</p>
<p>Decision Guidelines</p>	<p>The design response.</p> <p>The impact on the amenity of the secluded private open space or habitable room window.</p> <p>The existing extent of overlooking into the secluded private open space and habitable room window of existing dwellings.</p> <p>The internal daylight to and amenity of the proposed dwelling or residential building.</p>	
<p>Objective</p>	<p>To limit views into existing secluded private open space and habitable room windows.</p>	<p>✓ Objective met</p>

Clause 55.04-7 Internal views objective

<p>Title & Objective</p>	<p>Standards</p>	<p>Standard Met/Standard Not Met/NA</p>
<p>Standard B23</p>	<p>Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p>	<p>✓ Standard met There would be no internal overlooking.</p>
<p>Decision Guidelines</p>	<p>The design response.</p>	

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Objective	To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.	Objective met
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Clause 55.04-8 Noise impacts objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B24	Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take into account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	Standard met No noise sources apparent. Standard met No noise sources apparent. Standard met The site does not adjoin busy roads, railway lines or industry.
Decision Guidelines	The design response.	
Objectives	To contain noise sources within development that may affect existing dwellings. To protect residents from external noise.	Objective met

Clause 55.05-1 Accessibility objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B25	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	Standard met The floor levels proposed are not excessive high and could be accessible to people with limited mobility.
Objective	To encourage the consideration of the needs of people with limited mobility in the design of developments.	Objective met

Clause 55.05-2 Dwelling entry objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
		Standard Met/Standard Not Met/NA

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<p>Standard B26</p>	<p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> • Be visible and easily identifiable from streets and other public areas. • Provide shelter, a sense of personal address and a transitional space around the entry. 	<p>✓ Standard met The entrance to each dwelling is provided with an entry point to provide a sense of address and can be identified from the street or the internal accessway.</p>
<p>Objective</p>	<p>To provide each dwelling or residential building with its own sense of identity.</p>	<p>✓ Objective met</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.05-3 Daylight to new windows objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B27	A window in a habitable room should be located to face: <ul style="list-style-type: none"> • An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or • A verandah provided it is open for at least on third of its perimeter, or • A carport provided it has two or more open sides and is open for at least on third of its perimeter. 	✓ Standard met Each habitable room window would face an outdoor space.
Decision Guidelines	The design response. Whether there are other windows in the habitable room which have access to daylight.	
Objective	To allow adequate daylight into new habitable room windows.	✓ Objective met

Clause 55.05-4 Private open space objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<p>Standard B28</p>	<p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p>GRZ1: <i>An area of 50 square metres of ground level, private open space, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres, and a minimum dimension of 5 metres and convenient access from a living room; or</i></p> <p><i>A balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; or</i></p> <p><i>A rooftop area of 10 square metres with a minimum width of 2.0 metres and convenient access from a living room.</i></p>	<p>✓ Standard met</p> <p>The areas of private open spaces for the dwellings are as follow (in square metres):</p> <table border="1" data-bbox="256 327 501 911"> <thead> <tr> <th></th> <th>Ground floor private open space (sqm)</th> <th>Ground floor secluded private open space (sqm)</th> <th>Total (sqm)</th> </tr> </thead> <tbody> <tr> <td>Unit 1</td> <td>95.4</td> <td>31.2</td> <td>126.6</td> </tr> <tr> <td>Unit 2</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 3</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 4</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 5</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 6</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 7</td> <td>N/A</td> <td>50.6</td> <td>50.6</td> </tr> <tr> <td>Unit 8</td> <td>N/A</td> <td>103</td> <td>103</td> </tr> </tbody> </table> <p>Each dwelling would be provided with a minimum of 50sqm of private open space with one part comprising secluded private open space with a minimum area of 30sqm and a minimum dimension of 5m. The prime secluded private open space of Unit 1 would protrude into the front setback area by 1.44m. The minor protrusion is considered acceptable having considered that five (5) canopy trees would be provided to the front of the prime secluded private open space to screen it from the street.</p>		Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)	Unit 1	95.4	31.2	126.6	Unit 2	N/A	50.6	50.6	Unit 3	N/A	50.6	50.6	Unit 4	N/A	50.6	50.6	Unit 5	N/A	50.6	50.6	Unit 6	N/A	50.6	50.6	Unit 7	N/A	50.6	50.6	Unit 8	N/A	103	103
	Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)																																			
Unit 1	95.4	31.2	126.6																																			
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Unit 3	N/A	50.6	50.6																																			
Unit 4	N/A	50.6	50.6																																			
Unit 5	N/A	50.6	50.6																																			
Unit 6	N/A	50.6	50.6																																			
Unit 7	N/A	50.6	50.6																																			
Unit 8	N/A	103	103																																			
<p>Decision Guidelines</p>	<p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> • An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or • A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or • A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development.</p>	<p>N/A</p>																																				
	<p>The design response.</p> <p>The useability of the private open space, including its size and accessibility.</p> <p>The availability of and access to public or communal open space.</p> <p>The orientation of the lot to the street and the sun.</p>																																					

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<p>Objective</p>	<p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>		<p>✓ Objective met</p>
<p>Clause 55.05-5 Solar access to open space objective</p>			
<p>Title & Objective</p>	<p>Standards</p>	<p>Standard Met/Standard Not Met/NA</p>	
<p>Standard B29</p>	<p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p>	<p>✓ Standard met The primary secluded private open spaces of the dwellings would be orientated to the north.</p>	
	<p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall. Diagram B5 Solar access to open space</p>	<p>✓ Standard met The primary secluded private open spaces of the dwellings would be orientated to the north.</p>	
<p>Decision Guidelines</p>	<p>The design response. The useability and amenity of the secluded private open space based on the sunlight it will receive.</p>		
<p>Objective</p>	<p>To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>		
	<p>✓ Objective met</p>		

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.05-6 Storage objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B30	Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.		Standard met Each dwelling provided with a minimum 6 cubic metres of external storage in form of a storage shed.
Objective	To provide adequate storage facilities for each dwelling.		Objective met

Clause 55.06-1 Design detail objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B31	The design of buildings, including: <ul style="list-style-type: none"> • Façade articulation and detailing, • Window and door proportions, • Roof form, and • Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character.	Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	Standard met The proposed front setback, external materials and roof form is consistent with the existing and preferred character of the area.
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting. Whether the design is innovative and of a high architectural standard.		Standard met The garages would be to the rear of Unit 1 and hidden from the street.
Objective	To encourage design detail that respects the existing or preferred neighbourhood character.		Objective met

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.06-2 Front fences objective		Standard Met/Standard Not Met/NA						
Title & Objective	Standards							
Standard B32	<p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> The maximum height specified in a schedule to the zone, or <p>All schedules to all residential zones:</p> <p>“Maximum 1.5 metre height in streets in a Transport 2 Zone 1.2 metre maximum height for other streets”</p> <ul style="list-style-type: none"> If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. <p>Table B3 Maximum front fence height</p> <table border="1"> <thead> <tr> <th>Street Context</th> <th>Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td>Streets in a Road Zone, Category 1</td> <td>2 metres</td> </tr> <tr> <td>Other streets</td> <td>1.5 metres</td> </tr> </tbody> </table>	Street Context	Maximum front fence height	Streets in a Road Zone, Category 1	2 metres	Other streets	1.5 metres	<p>Standard met A 1.2m high masonry pier & metal picket front fence is proposed.</p> <p>Standard met A 1.2m high masonry pier & metal picket front fence is proposed.</p>
Street Context	Maximum front fence height							
Streets in a Road Zone, Category 1	2 metres							
Other streets	1.5 metres							
Decision Guidelines	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The setback, height and appearance of front fences on adjacent properties.</p> <p>The extent to which slope and retaining walls reduce the effective height of the front fence.</p> <p>Whether the fence is needed to minimise noise intrusion.</p>							
Objective	To encourage front fence design that respects the existing or preferred neighbourhood character.	Objective met						

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Clause 55.06-3 Common property objectives

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B33		Developments should clearly delineate public, communal and private areas.	Standard met Appropriate fencing has been including to delineate private areas.
Objectives		Common property, where provided, should be functional and capable of efficient management. To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership.	Standard met The driveway would form common property. This area would be functional and capable of efficient management. Objective met

Clause 55.06-4 Site services objectives

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B34		The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents.	Standard met Adequate space has been allocated for services. Standard met Mailboxes for the development provided to front of site. Each unit provided with bin area and communal meter boxes provided. Standard met Rubbish and recycling bins located within POS area of each unit.
Decision Guidelines		Mailboxes should be provided and located for convenient access as required by Australia Post. The design response.	Standard met Mailboxes provided.
Objectives		To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.	Objective met

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 23 DUNBLANE ROAD, NOBLE
PARK (PLANNING APPLICATION NO. PLN21/0092)**

ATTACHMENT 6

CLAUSE 55 ASSESSMENT

PAGES 4 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

Assessment Table - Residential Subdivision (Clause 56)

Whilst there are 30 standards under Clause 56, only the below standards are considered relevant to the proposal for the subdivision of 3 to 15 lots in accordance with the provision of Clause 32.08-3 (General Residential Zone: Subdivision).

OBJECTIVE	STANDARD	RESPONSE
<p>Clause 56.03-5 - Neighbourhood Character</p> <ul style="list-style-type: none"> To design subdivisions that respond to neighbourhood character. 	<p>Standard C6 Subdivision should:</p> <ul style="list-style-type: none"> Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement. Respond to and integrate with the surrounding urban environment. Protect significant vegetation and site features. 	<p>Standard met</p> <p>The eight lot subdivision respects the existing neighbourhood character and achieves a preferred neighbourhood character consistent with Clause 22.09 and Clause 55.</p>
<p>Clause 56.04-2 - Lot Area and Building Envelopes</p> <ul style="list-style-type: none"> To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features. 	<p>Standard C8</p> <ul style="list-style-type: none"> Lots less than 300m² should be accompanied by information that shows that the lots are consistent or contain a building envelope consistent with a development approved under the scheme, or that a dwelling may be constructed on each lot in accordance with the requirements of this scheme. Lots of between 300 and 500m² should contain a building envelope that is consistent with a development of the lot approved under this scheme; or, if no development has been approved, contain a rectangle building envelope measuring 10m x 15m, or 9m x 15m if a boundary wall is nominated as part of the building envelope. Lots greater than 500m² should be able to contain a 10m x 15m rectangle, and may contain a building envelope. A building envelope may specify or incorporate any relevant siting and design requirement. Any requirement should meet the relevant standards of Clause 54 unless the objectives of the standard are met and the building envelope is shown as a restriction on a plan of subdivision, or is specified as a covenant in an agreement under Section 173 of the Act. Lot dimensions and building envelopes should protect: solar access and allow for the energy rating requirements of the Building Regulations to be achieved; existing or proposed easements; and, significant vegetation and site features. 	<p>Standard met</p> <p>The site is 2023.6sqm. Each lot would have an approximately area of 250sqm. A development plan has been included as part of this application.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<p>Clause 56.04-3 - Solar Orientation of Lots</p> <ul style="list-style-type: none"> To provide good solar orientation of lots and solar access for future dwellings. 	<p>Standard C9</p> <p>Unless the site is constrained by topography or other site conditions, at least 70% of lots should have appropriate solar orientation.</p> <p>Lots have appropriate solar orientation when:</p> <ul style="list-style-type: none"> The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south. Lots between 300m² and 500m² are proposed to contain dwellings that are built to the boundary, the long axis of the lots should be within 30 degrees east and 20 degrees west of north. Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street. 	<p>✓ Standard met</p> <p>The subdivision layout would provide reasonable solar access to the secluded private open space area and habitable room windows for the dwellings on each lot.</p>
<p>Clause 56.04-5 - Common Area</p> <ul style="list-style-type: none"> To identify common areas and the purpose for which the area is commonly held. To ensure the provision of common area is appropriate and that necessary management arrangements are in place. To maintain direct public access throughout the neighbourhood street network. 	<p>Standard C11</p> <p>An application to subdivide land that creates common land must be accompanied by a plan and a report identifying:</p> <ul style="list-style-type: none"> The common area to be owned by the body corporate, including any streets and open space. The reasons why the area should be commonly held. Lots participating in the body corporate. The proposed management arrangements including maintenance standards for streets and open spaces to be commonly held. 	<p>✓ Standard met</p> <p>The driveway would form part of common property. This area would be functional and capable of efficient management.</p>
<p>Clause 56.06-8 - Lot Access</p> <ul style="list-style-type: none"> To provide for safe vehicle access between roads and lots. 	<p>Standard C21</p> <ul style="list-style-type: none"> Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear access lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority. Vehicle access to lots of 300m² or less in area and lots with a frontage of 7.5m or less should be provided via rear or side access lanes, places or streets. The design and construction of a crossover should meet the requirements of the relevant road authority. 	<p>✓ Standard met</p> <p>The site does not adjoin an arterial road. The accessway width would be adequate for vehicles from the residents and emergency vehicles.</p>
<p>Cl.56.09-2 – Electricity, Telecommunications and Gas</p> <ul style="list-style-type: none"> To provide public utilities to each lot in a timely, efficient and cost effective manner. 	<p>C28</p> <p>The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots.</p>	<p>! Condition required</p> <p>It is considered that the supply of electricity, telecommunications and gas could be supplied to the lots to the satisfaction of the relevant authorities to ensure these objectives are met. Relevant permit</p>

2.2.1 Town Planning Application - No. 23 Dunblane Road, Noble Park (Planning Application No. PLN21/0092) (Cont.)

<ul style="list-style-type: none"> To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources. 	<p>Arrangements that support the generation or use of renewable energy are encouraged. The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advance telecommunications infrastructure. This must be provided to the boundary of all lots.</p> <p>Where available, the reticulated gas supply system must be designed in accordance with the requirements of the relevant gas supply agency and be provided to the boundary of all lots.</p>	<p>conditions would be placed on any permit to be granted.</p>
<p>Cl.56.09-3 – Fire hydrants</p> <ul style="list-style-type: none"> To provide fire hydrants and fire plugs in positions that enable fire fighters to access water safely, effectively and efficiently. 	<p>C29 Fire hydrants should be provided:</p> <ul style="list-style-type: none"> A maximum distance of 120 metres from the rear of the each lot. No more than 200 metres apart. Hydrants and fire plugs must be compatible with the relevant fire service equipment. <p>Where the provision of fire hydrants and fire plugs does not comply with the requirements of standard C29, fire hydrants must be provided to the satisfaction of the relevant fire authority.</p>	<p>! Condition required The application was referred to the Country Fire Authority who has no objection to the proposal subject to conditions. These could be conditioned.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)

File Id:	115955
Responsible Officer:	Director City Planning Design & Amenity
Attachments:	Submitted Plans Location of Objectors Clause 22.09 Assessment Clause 52.06 Assessment Clause 55 Assessment

Application Summary

Applicant:	Gauri Pisolkar of R Architecture
Proposal:	Development of the land for four (4) double storey dwellings
Zone:	General Residential Zone - Schedule 3
Overlay:	No overlays apply to the site
Ward:	Springvale North

This application has been brought to a Council meeting as it has received two (2) objections.

The application proposes the development of the land for four (4) double storey dwellings.

A permit is required pursuant to:

- Clause 32.08-6 (General Residential Zone) to construct two (2) or more dwellings on a lot.

Objectors Summary

The application was advertised to the surrounding area through the erection of a notice on-site and the mailing of notices to adjoining and surrounding owners and occupiers. Two (2) objections were received to the application. Issues raised generally relate to:

- Excessive on-street parking would obstruct emergency vehicles through this street.
- There is an on-going waste collection issue due to on-street parking.

Assessment Summary

The site is located within an established residential area and is well suited for medium density housing given its zoning and location in an incremental change area. The proposal seeks to provide a medium housing density development which is generally consistent with the emerging pattern of development

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

and the surrounding neighbourhood character. It is noted that the development complies with most of the design principles of the applicable neighbourhood character policy as has been demonstrated in the attachments and outlined in this report or could do so via conditions.

The development is generally compliant with Clause 55, responding to site context and site circumstances, while respecting the existing and preferred neighbourhood character envisaged by Clause 22.09.

Recommendation Summary

As assessed, officers consider this proposal to be highly compliant with all of the relevant provisions of the Greater Dandenong Planning Scheme. All grounds of objection have been considered, and Council Officers are of the view that on balance, the proposal's degree of compliance with the Planning Scheme justifies that the application should be supported. Therefore, it is recommended that a **Notice of Decision** (which provides appeal rights to objectors) to grant a permit be issued subject to the conditions as set out in the recommendation.

If the application was to be appealed to VCAT, it is the officer's view that it is highly likely that VCAT would also issue a planning permit for this proposal.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

Subject Site and Surrounds

Subject Site

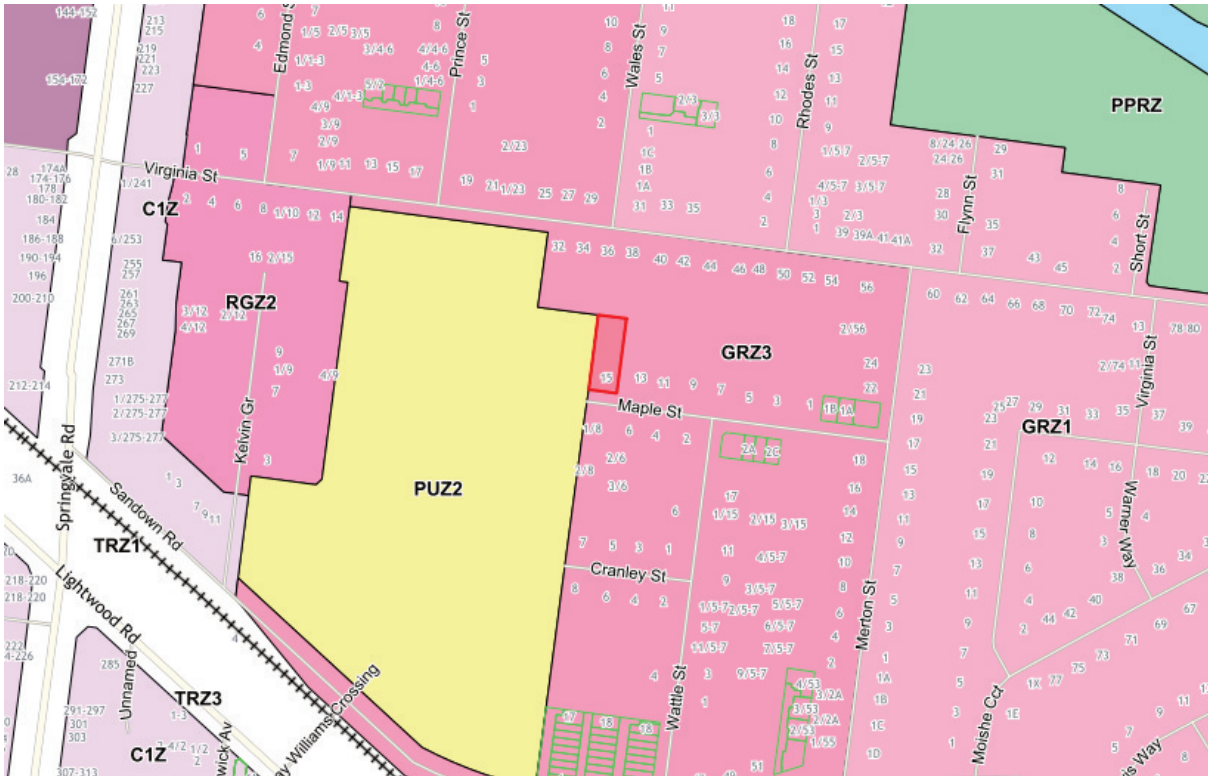
- The subject site is located to the north side of Maple Street.
- The site is rectangular in shape with a frontage of 17.37m, a depth of 45.72m and an overall site area of 794sqm.
- The land is currently occupied by a single storey weatherboard dwelling with an associated garage along the eastern boundary accessible from Maple Street.
- A 1.83m wide drainage and sewerage easement is located along the rear boundary.
- There are several trees located throughout the site.

Surrounding Area

- The subject site is located within an established residential area of Springvale.
- The built form in the area consists of a mix of older single storey detached dwellings, double-storey detached dwellings, single-storey multi-dwelling developments and double-storey multi-dwelling developments.
- The site adjoins two (2) properties to the north being 36 and 38 Virginia Street, each containing one (1) single storey dwelling. The adjoining land to the east contains one (1) single storey dwelling. The adjoining land to the west is within a Public Use Zone 2 (Springvale Park Special Developmental School). The land to the south, on the opposite side of Maple Street, contains two (2) dwellings comprising one (1) single storey dwelling at the front and a double storey dwelling to the rear.
- The Springvale Train Station is located 290m to the southwest and the Springvale Activity Centre core is located 430m to the southwest.

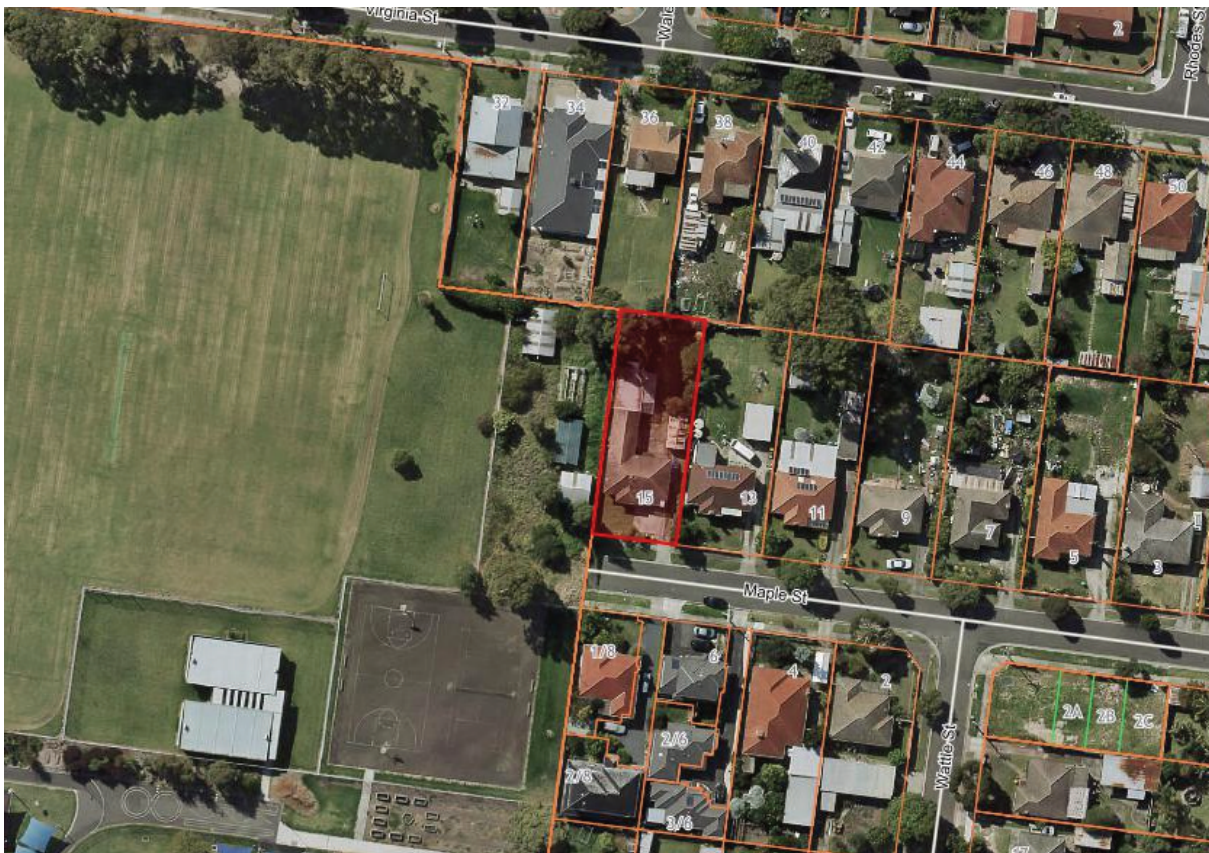
**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

Locality Plan



p Subject Site Melway Map 80 A9 North é

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)



Background

Previous Applications

A search of Council records revealed that the following planning application was considered for the site:

- Planning Application PLN18/0435 was submitted on 31 July 2018 for the development of the land at No. 13 and 15 Maple Street, Springvale for ten (10) double storey dwellings. The application lapsed.

Proposal

The application proposes the development of the land for four (4) double storey dwellings.

The details of the proposal are as follows:

Type of proposal	Multi dwellings
Number of dwellings	Four (4)
Levels	All double storey

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Height	The proposed development would have a maximum building height of 7.6 metres.																				
Orientated to	Unit 1 would be orientated to Maple Street. Units 2 to 4 would be orientated to the internal driveway.																				
External materials	Face brickwork on the ground floor. Light weight rendered finished on the first floor.																				
Minimum setbacks <i>(encompasses all dwellings)</i>	North: 1.89m (Unit 4). South (frontage): 5m (Unit 1). East: 4.13m (Unit 1). West: 0m (Garage 1).																				
Open space type	<p>Each dwelling would be provided with a minimum of 40sqm of private open space with one part comprising secluded private open space with a minimum area of 25sqm, a minimum dimension of 3m and convenient access to a living room.</p> <p>The areas of private open spaces for the dwellings are as follow (in square metres):</p> <table border="1"> <thead> <tr> <th></th> <th>Ground floor private open space (sqm)</th> <th>Ground floor secluded private open space (sqm)</th> <th>Total (sqm)</th> </tr> </thead> <tbody> <tr> <td>Unit 1</td> <td>64</td> <td>25</td> <td>89</td> </tr> <tr> <td>Unit 2</td> <td>N/A</td> <td>41</td> <td>41</td> </tr> <tr> <td>Unit 3</td> <td>N/A</td> <td>41</td> <td>41</td> </tr> <tr> <td>Unit 4</td> <td>N/A</td> <td>58</td> <td>58</td> </tr> </tbody> </table>		Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)	Unit 1	64	25	89	Unit 2	N/A	41	41	Unit 3	N/A	41	41	Unit 4	N/A	58	58
	Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)																		
Unit 1	64	25	89																		
Unit 2	N/A	41	41																		
Unit 3	N/A	41	41																		
Unit 4	N/A	58	58																		
Number of Car parking Spaces provided	<p>A total of seven (7) car parking spaces would be provided for the dwellings.</p> <p>The following table set out the number of car spaces required and provided for each dwelling:</p> <table border="1"> <thead> <tr> <th>Unit number</th> <th>Number of car spaces required</th> <th>Number of car spaces provided</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Unit number	Number of car spaces required	Number of car spaces provided																	
Unit number	Number of car spaces required	Number of car spaces provided																			

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	1	2 (3 bedrooms)	2 (double garage in tandem arrangement)
	2	2 (3 bedrooms)	2 (double garage)
	3	2 (3 bedrooms)	2 (double garage)
	4	1 (2 bedrooms)	1 (single garage)
Number of Car parking Spaces required	<p>One (1) car parking space is required for each one or two bedroom dwelling and two (2) car parking spaces are required for each three or more bedroom dwelling.</p> <p>A total of seven (7) car parking spaces are required.</p> <p>The proposal would provide one (1) car space for each two-bedroom dwelling and two (2) car spaces to each three-bedroom dwelling with at least one (1) under cover car space.</p> <p>No visitor car space is required or provided.</p> <p>The number of car spaces provided for the residents comply with Clause 52.06 (Car parking).</p>		
Type of car parking	Each dwelling would be provided with at least one (1) under-cover car parking space.		
Access	One (1) vehicle crossover would facilitate vehicular access to the dwellings comprising modification to the existing crossover on Maple Street.		
Front Fence	No front fence is proposed.		
Garden area required	The garden area requirement is not applicable to the General Residential Zone – Schedule 3.		

A copy of the submitted plans is included as Attachment 1.

Victorian Charter of Human Rights and Responsibilities

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

Financial Implications

No financial resources are impacted by this report.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Planning Scheme and Policy Frameworks

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required:

- Clause 32.08-6 (General Residential Zone) to construct two (2) or more dwellings on a lot.

The relevant controls and policies are as follows:

Zoning Controls

The subject site is located in a General Residential Zone – Schedule 3, as is the surrounding land to the north, south and east. The adjoining land to the west is within a Public Use Zone 2 (Springvale Park Special Developmental School).

The purpose of the General Residential Zone outlined at Clause 32.08 is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Pursuant to Clause 32.08-6, a permit is required to construct two or more dwellings on a lot.

It is noted that within Schedule 3 to the zone, varied requirements of Clause 55 are set out as follows:

- *Standard B6 (Minimum street setback) – As per B6 or 5 metres, whichever is the lesser;*
- *Standard B8 (Site coverage) – The site area covered by buildings should not exceed 70 per cent;*
- *Standard B13 (Landscaping) – 70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees;*
- *Standard B28 (Private open space) – An area of 40 square metres of ground level, private open space, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 25 square metres, and a minimum dimension of 3 metres and convenient access from a living room; or*

A balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; or

A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room;

- *Standard B32 (Front fence height) – A front fence within 3 metres of a road in a Transport Zone 2 should not exceed 1.5 metres in height, or 1.2 metres for all other streets.*

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Overlay Controls

No overlays affect the subject site or surrounding area.

Planning Policy Framework

The **Operation of the Planning Policy Framework** outlined at Clause 10 seeks to ensure that the objectives of planning in Victoria are fostered through appropriate land use and development planning policies and practices which integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development. The objectives of Planning in Victoria are noted as:

- (a) To provide for the fair, orderly, economic and sustainable use, and development of land.*
- (b) To provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity.*
- (c) To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.*
- (d) To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.*
- (e) To protect public utilities and other facilities for the benefit of the community.*
- (f) To facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e).*
- (g) To balance the present and future interests of all Victorians.*

In order to achieve those objectives, there are a number of more specific objectives contained within the State Planning Policy Framework that need to be considered under this application.

In order to achieve those objectives, there are a number of more specific objectives contained within the Planning Policy Framework that are relevant to this application.

Clause 11 Settlement states that planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, amongst others.

Managing growth is the focus of **Clause 11.02** which includes an objective that aims to ensure a sufficient supply of land is available for residential development, which is relevant to the current application.

Clause 15 Built environment and heritage seeks to ensure that planning achieves high quality urban design and architecture that meets a number of objectives. The following objectives are of relevance to the current application:

- *To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*
- *To recognise, support and protect neighbourhood character, cultural identity, and sense of place.*
- *To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions.*

Housing

is the focus of

Clause 16

and includes the following provisions:

- *To facilitate well-located, integrated and diverse housing that meets community needs.*
- *To deliver more affordable housing closer to jobs, transport and services.*

There are a number of objectives of relevance to the current application under **Clause 18 Transport** including the following:

- *To create a safe and sustainable transport system by integrating land-use and transport.*
- *To promote the use of sustainable personal transport.*
- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

Local Planning Policy Framework

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies.

The MSS is contained within Clause 21 of the Scheme. The MSS at **Clause 21.02** focuses on the **Municipal Profile**, within which the following is noted:

- *There is considerable diversity within Greater Dandenong's housing stock. Most housing stock is aged between 30 to 50 years old, though there are some areas with dwellings in excess of 100 years old. Areas of newer housing are located in the north-east and central-southern areas, with in-fill development occurring across the municipality (Clause 21.02-3).*
- *Higher density housing is generally located in proximity to railway stations and major shopping centres, in particular in central Dandenong (Clause 21.02-3).*
- *Whilst there is a clear pre-dominance of single detached dwellings, there are a range of other types of dwellings including dual occupancies, villa-units, town houses and apartments. The highest concentration of older villa units and apartments and more recent multi-unit redevelopments have occurred around central Dandenong, Springvale and Noble Park activity centres (Clause 21.02-4).*
- *With diverse cultural groups that call Greater Dandenong home, there are certain distinct precincts that are emerging that have their own character. Their built form is characterised by buildings*

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with flat unarticulated facades, prominent balconies, limited frontage/side setbacks, limited or no landscaping (Clause 21.02-4).

A **Vision for Greater Dandenong** is outlined at **Clause 21.03**. The vision is that Greater Dandenong will be a municipality where housing diversity and choice is promoted in its various attractive neighbourhoods.

The objectives and strategies of the MSS are under four (4) main themes including: land use; built form; open space and natural environment; and, infrastructure and transportation (considered individually under Clauses 21.04 to 21.07). Of particular relevance to this application are Clauses 21.04 – Land Use and 21.05 – Built Form:

Clause 21.04-1 Housing and community

- *Greater Dandenong's population is expected to rise by 22 percent, from 147,000 to 179,000 in the decade to 2024, placing pressure on transport networks, infrastructure, services and public open space.*
- *Approximately 9,950 new households will need to be accommodated across the municipality by 2024 (Greater Dandenong Housing Strategy 2014-2024).*
- *Supporting urban consolidation and providing housing in existing areas close to activity centres means that people do not need to travel as far to work, shop or to take part in sports/leisure activities thus reducing the environmental impacts of transport.*
- *Increases in housing density must be balanced by adequate provision of open space, good urban design and improvements to the public realm.*
- *Encourage the provision of housing that is adaptable to support the needs of the changing needs of present and future residents.*
- *Encourage innovative redevelopment and renewal of deteriorating housing stock and older styled higher-density apartments and multi-unit developments.*
- *Encourage new residential development that incorporates adequate space for the planting and the long term viability and safe retention of canopy trees.*
- *Respect the valued, existing neighbourhood character within incremental and minimal change areas.*
- *Requiring medium-density developments to be site and locality responsive and to respect existing and proposed neighbourhood character.*

Clause 21.05-1 – Urban design, character, streetscapes and landscapes – contains the following relevant objectives and strategies:

- *To facilitate high quality building design and architecture.*
 - *Ensure building design is consistent with the identified future character of an area and fully integrates with surrounding environment.*
 - *Encourage high standards of building design and architecture, which allows for flexibility and adaptation in use.*

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

- *Encourage innovative architecture and building design.*
- *Encourage development to incorporate sustainable design elements that enhance occupant comfort and environmental performance.*
- *To facilitate high quality development, which has regard for the surrounding environment and built form.*
 - *Promote views of high quality landscapes and pleasing vistas from both the public and private realm.*
 - *Promote all aspects of character – physical, environmental, social and cultural.*
 - *Encourage planting and landscape themes, which complement and improve the environment.*
 - *Encourage developments to provide for canopy trees.*
 - *Recognising valued existing neighbourhood character and promoting identified future character as defined in the Residential Development and Neighbourhood Character Policy at Clause 22.09.*
- *To protect and improve streetscapes*
 - *Ensure that new developments improve streetscapes through generous landscape setbacks and canopy tree planting.*
 - *Ensure landscaping within private property that complements and improves the streetscapes and landscaping of public areas.*
- *To ensure landscaping that enhances the built environment*
 - *Encourage new developments to establish a landscape setting, which reflects the local and wider landscape character.*
 - *Encourage landscaping that integrates canopy trees and an appropriate mix of shrubs and ground covers and complements and integrates with existing or proposed landscaping in public areas.*

Clause 22.09 – Residential Development & Neighbourhood Character Policy – contains the following objectives at Clause 22.09-2:

- *To guide the location and design of different types of residential development within Greater Dandenong, having regard to State and local planning policies, while respecting the valued characteristics and identified future character of residential neighbourhoods.*
- *To ensure that new residential development is consistent with the identified future character and preferred built form envisaged for the three Future Change Areas.*
- *To provide certainty about which areas are identified for, or protected from, increased residential development consistent with the purpose of the applicable zone.*
- *To facilitate high quality, well designed residential development and on-site landscaping.*

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

- *To promote a range of housing types to accommodate the future needs of the municipality's changing population.*
- *To ensure that residential development uses innovative, responsive and functional siting and design solutions that:*
 - *Achieve high quality internal amenity and private open space outcomes for future residents;*
 - *Make a positive contribution to the streetscape through quality design, contextual responsiveness and visual interest;*
 - *Promote public realm safety by maximising passive surveillance.*
 - *Demonstrate responsiveness to the site, adjoining interfaces, streetscape and landscape context;*
 - *Respect the amenity of adjoining residents and the reasonable development potential of adjoining properties;*
 - *Achieve environmentally sustainable design outcomes;*
 - *Use quality, durable building materials that are integrated into the overall building form and façade; and*
 - *Minimise the visual dominance of vehicle accessways and storage facilities, such as garages, car ports and basement entrances.*

Clause 22.09-3.1 (Design Principles) provides design principles, which apply to all Future Change Areas.

Clause 22.09-3.3 (Incremental Change Areas) provides design principles, some of which also relate to the variances to the requirements of standards to Clause 55 under the schedule to the General Residential Zone. The guidelines consider matters such as: housing type; building height; private open space; and bulk & built form.

An assessment against Clause 22.09 is included as Attachment 3 to this report.

Particular Provisions

Car Parking (Clause 52.06)

Clause 52.06 Car Parking needs to be considered to determine the appropriateness of the car parking provision of the development. The purpose of this Clause is:

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

The table at Clause 52.06-5 notes that a dwelling with 1 or 2 bedrooms requires 1 car space and a dwelling with 3 or more bedrooms requires 2 spaces to each dwelling. The site is within the Principle Public Transport Network area map. Land within the Principle Public Transport Network area map is exempt from providing visitor car space for development of five (5) or more dwellings.

A total of seven (7) car parking spaces are required.

The proposal would provide one (1) car space for each two-bedroom dwelling and two (2) car spaces to each three-bedroom dwelling with at least one (1) under cover car space.

No visitor car space is required or provided.

The number of car spaces provided for the residents comply with Clause 52.06 (Car parking).

Car parking is to be designed in accordance with the requirements of Clause 52.06-9 of the Scheme.

An assessment against Clause 52.06 is included as Attachment 4 to this report.

Two or more dwellings on a lot and residential buildings (Clause 55)

Pursuant to Clause 55 of the Greater Dandenong Planning Scheme, the provisions of this Clause apply to an application:

- *To construct two or more dwellings on a lot.*

The purposes of this clause are:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

A development:

- *Must meet all of the objectives of this clause; and*
- *Should meet all of the standards of this clause.*

If a zone or a schedule to a zone specifies a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

An assessment against Clause 55 is included as Attachment 5 to this report.

General Provisions

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

Restrictive Covenants

No encumbrances registered on title.

Community Vision 2040 and Council Plan 2021-25 – Strategic Objectives, Strategies and Plans

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

Diversity (Access & Equity)

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

Community Safety

It is considered that there would be no adverse community safety implications in permitting the proposal.

Safe Design Guidelines

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

Referrals

External

The application was not required to be referred to any external referral authorities pursuant to Section 55 of the Planning and Environment Act 1987.

Internal

The application was internally referred to the following Council departments for their consideration. The comments provided have been considered in the assessment of the application.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Internal Referrals	
Civil Development	No objections, subject to conditions on permit.
Transport Planning	No objections, subject to conditions on permit.
Sustainability Planning	No objections, subject to conditions on permit.
Arborist	No objections, subject to conditions on permit.
Waste Management Services	No objections.

Advertising

The application has been advertised twice pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the land owners and occupiers of adjoining and surrounding land.
- Placing one (1) sign on site facing Maple Street.

The notification has been carried out correctly.

A total of two (2) objections have been received to date.

The locations of the objectors are shown in Attachment 2.

Consultation

A consultative meeting was not held as less than four (4) objections were received.

Summary of Grounds of Submissions/Objections

The objections are summarised below (**bold**), followed by the Town Planner's Response (in *italics*).

- **Excessive on-street parking would obstruct emergency vehicles through this street;**

The proposed development would provide adequate car spaces on the site in accordance Clause 52.06 (Car parking) of the Greater Dandenong Planning Scheme. The proposed development does not rely on on-street parking. The proposed development does not rely on on-street parking.

In addition, Council's Transport Planning team have reviewed the proposed development and have not raised any issue with emergency access to this street.

- **There is an on-going waste collection issue due to on-street parking**

This proposal does not rely on on-street parking. The on-going waste collection issue due to on-street parking does not relate to the proposed development.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

In addition, the application was referred to Council's Waste Management Services team who advised that there is adequate space at the front of the site for kerb side waste collection by Council.

Assessment

The subject site is located within an established residential area and is well suited for the development of medium density housing given that the site is located within easy walking distance of many community facilities and public transport. The proposal also seeks to reduce pressure on the urban fringe by providing four (4) dwellings where previously one (1) existed through the redevelopment of the site, thereby ensuring that the housing required for the growing population is facilitated.

Use

As outlined in Clause 32.08-2 (General Residential Zone), a dwelling is listed as a Section 1 use, and a planning permit is not required for the use of the proposal. However, a planning permit is required for the development of the land for four (4) dwellings, which is discussed below.

Development

Planning Policy Framework / Local Planning Policy Framework

In considering the Planning Policy Framework and the Local Planning Policy Framework, Council can establish that an acceptable proposal will be guided by:

Clause 22.09 Residential Development and Neighbourhood Character;

Clause 52.06 Car parking; and

Clause 55 Two or more dwellings on a lot.

Each of these Clauses ensure that Council facilitates the orderly development of urban areas, which is a specific objective of Clause 11.02 Settlement.

The objectives of Clause 15.01-1S Urban Design, Clause 15.01-2S Building Design and Clause 21.05-1 Built Form outline the key considerations in which a development must respond to urban design, character, streetscapes and landscape issues.

It is considered that the proposed design response respects the preferred neighbourhood character of the incremental change area by providing a medium density housing typology.

The proposal is of a high quality urban design, with physical recession, articulation, varied use of materials, textures and other visual interest.

The overall layout allows space for compliant private and secluded private open space and acceptable landscaping treatments such as a significant canopy trees and shrubbery plantings within well-proportioned setback areas to allow growth to maturity.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

The proposal is also located within an area subject to incremental change with other multi-unit developments of a similar scale and massing being found within the surrounding residential area such as on the land at 14 Wales Street (200m to the north) which contains four (4) double storey dwellings and at 7-9 Prince Street (165m to the northwest) which contain ten (10) double storey dwellings. The proposal's compliance with Clause 22.09, Clause 52.06 and Clause 55 ensures that the development would achieve the objectives set out in Clause 15.01 and Clause 21.05-1.

As such, Council officers recommend that the application be approved subject to planning permit conditions as necessary.

Clause 22.09 Assessment - Residential Development and Neighbourhood Character Policy

An assessment against the design principles of Clause 22.09 is included at Attachment 3 of this report. This proposal provides a design response which is consistent with the preferred character envisaged by Clause 22.09, except in the following instances:

Design Principles for all residential developments

Landscaping

Relevant Design Principles:

- *Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.*
- *Provide substantial, high quality landscaping along vehicular accessways.*
- *Include the planting of at least one substantial canopy tree to each front setback and ground level secluded private open space area.*
- *Planting trees that are common to and perform well in the area.*
- *Avoid the removal of existing mature trees by incorporating their retention into the site design.*
- *Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.*
- *Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties.*

A landscape plan has not been submitted as part of the application and would be requested as a condition of permit.

It is noted that the proposal would be capable of accommodating substantial high quality landscaping, including screen planting and native canopy trees within the frontage and the rear secluded private open space area of each dwelling.

There are several trees on the site which would be removed for the development. The removal of the trees does not require a planning permit under Clause 52.17 (Native Vegetation) as the land is under 4000 square metres. Council's Arboricultural team have reviewed the proposal and have no objection to the removal of the trees on the site.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

There are two (2) large trees on the adjoining land to the west located near the boundary of the site. Council's Arboricultural team have advised that a Tree Management Plan should be provided to ensure that the trees are protected from the proposed development. This could be conditioned.

Materials & Finishes

Relevant Design Principles:

- *Use a consistent simple palette of materials, colours finishes and architectural detailing.*

On the west elevation, a light grey colour is provided to approx. 80% of the first floor whilst approx. 80% of the ground floor is provided with a dark grey colour. It is recommended that each dwelling should be provided with a different colour or shading from the adjoining dwelling to provide each dwelling with a sense of identify from the adjoining dwelling. This could be conditioned.

On the east elevation, a dark grey colour is provided to the entire ground floor walls. The first floor colour shading is varied for Units 1 to 3 but the same colour shading is used for Units 3 and 4. It is recommended that the same condition applying to the west elevation should apply to the east elevation requiring each dwelling to be provided with a different colour or shading to the adjoining dwelling. This could be conditioned.

Design Principle for Incremental Change Area

Bulk & Built Form

Relevant Design Principles:

- *Separation between upper levels of dwellings on a site in the GRZ3 is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts.*
- *Within the GRZ1 and GRZ2 the rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.*

As mentioned in the above assessment under Materials & Finishes, the elevations could be further improved by requiring each dwelling to have a different colour or shading from the adjoining dwelling. This could be conditioned.

The proposed built form demonstrates a high standard of design, and as the site is within a GRZ3, separation at first floor is not required. Furthermore, as the site is within a GRZ3, the rearmost dwelling is not required to be single storey. The rearmost dwelling is only required to be single storey within the GRZ1 and GRZ2. In any case, the upper floor of dwelling 4 has significant setbacks to the two sensitive interfaces to the north and east, and as such would not have any unacceptable adverse impacts on the amenity of the surrounding properties.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 52.06 Assessment - Car Parking

The table at Clause 52.06-5 (Car parking – Number of car spaces required under Table 1) sets out the car parking requirement that applies to the use of land for dwellings as follows:

- One (1) car parking space to each one (1) or two (2) bedroom dwelling; and
- Two (2) car parking spaces to each three (3) or more bedroom dwelling.

The site is within the Principle Public Transport Network area map. Land within the Principle Public Transport Network area map is exempt from providing visitor car space for development of five (5) or more dwellings.

A total of seven (7) car parking spaces are required.

The proposal would provide one (1) car space for each two-bedroom dwelling and two (2) car spaces to each three-bedroom dwelling with at least one (1) under cover car space.

No visitor car space is required or provided.

The number of car spaces provided for the residents comply with Clause 52.06 (Car parking).

The proposal complies with the Design Standard of Clause 52.06-9, and a full Clause 52.06 assessment is attached to this report at Attachment 4.

Clause 55 Assessment - Two or more Dwellings on a lot and Residential Buildings

A Clause 55 Assessment is attached to this report at Attachment 5. Standards that warrant further consideration are discussed as follows:

Clause 55.03-5 Energy efficiency objectives – Standard B10

This standard requires developments to be designed so that solar access to north-facing windows is maximised.

Due to the orientation of the site, there is limited opportunity for north facing windows. The ground floor of Unit 4 would have a window to the kitchen and living room. On the first floor, there would be no north facing window provided. It is considered that there is an opportunity for a north facing window with sill height of 1.7m to the hallway / stairway of Unit 4. This could be required as a condition of any permit to be granted.

Clause 55.03-8 Landscaping objectives – Standard B13

This standard requires a landscape layout and design that specifies themes and vegetation. While the proposal provides adequate space for landscaping treatments across the site, a landscape plan has not been submitted as part of the application and it is recommended to be requested as a condition of permit. The objective would be met, subject to a condition of permit.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.03-10 Parking location objective – Standard B15

This standard requires that shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway. In this instance, all windows within 1.5 metre of the accessway have window sills at least 1.4 metre high, and therefore the setback requirement is 1 metre.

The east facing kitchen window of Units 1 and 4 would be located less than 1m from the common accessway. The windows to the foyer areas of Units 2 and 3 which connects to the living rooms are also less than 1m from the common accessway. It is recommended that noise attenuated glass should be provided to these windows to limit vehicle noise from the common driveway to the windows

It is considered that the objective is met as the noise attenuated glass would limit noise from the driveway to the habitable room windows. In addition, the habitable room windows are to living rooms and not bedrooms. Thus, future residents would not be within the living rooms late into the night. The minor variation of 0.38m to the windows of Units 1 and 4 and a variation 0.5m to the windows of Units 3 and 4 are considered acceptable in this instance.

Clause 55.04-6 Overlooking objective – Standard B22

This standard requires screening to be provided to a ground floor habitable room window, balcony, terrace, deck or patio, unless there is a visual barrier at least 1.8 metres high.

The side boundary fencing and proposed internal fencing are only 1.7m high. They should be extended to 1.8m high to prevent overlooking from ground floor habitable room windows. These could be conditioned.

Clause 55.05-4 Private open space objective – Standard B28

This standard and Schedule 3 to the General Residential Zone requires an area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room. The secluded private open space of Unit 1 would protrude into the front setback area by 1m. The minor protrusion is considered acceptable having considered that the vast majority of the secluded private open space is to the side of the dwelling, the site is at the end of a court located adjacent to a Public Use Zone 2 and that a canopy tree would be provided to the front of the secluded private open space to screen it from the street.

Clause 55.05-5 Solar access to open space objective – Standard B29

This standard requires the southern boundary of secluded private open space to be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

The secluded private open space of Unit 1 would be setback 6.55m from the first floor wall to the north, being Bedroom 3 of Unit 1. The required setback based on the formula is 7.85m, thus, a variation of 1.3m is required. The minor variation is considered acceptable considering that Unit 1

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

has a large front yard of 64sqm and that the first floor wall to the north of the secluded private open space area being Bedroom 3 of Unit 1, would be located only partially to the north of the secluded private open space of Unit 1.

Clause 22.06 - Environmentally Sustainable Development

The proposal complies with the requirements of Clause 22.06 by providing a Sustainable Design Assessment (SDA), a Built Environment Sustainability Scorecard (BESS) and a Stormwater Calculation, all completed by qualified professionals.

The provided BESS score complies with a score of 50% for best practice encompassing the full life of the build and identifying the methods used for the best environmental performance outcome. Having regard to the sites opportunities and restraints, the proposal has included the necessary water tanks, and roof catchment areas, sufficient energy star ratings for fixtures, heating and cooling systems and the addition of double-glazed habitable room windows.

The referral response from Council’s ESD team identified that the submitted plans should be amended to include the following:

- Stipulation of provision of double glazing to all habitable room windows.
- Amend rainwater tank capacity to 3,000L per dwelling as per SDA, BESS and STORM.
- Any other changes associated with the revised Sustainable Design Assessment.

BESS Information Summary		Project Overall Score: 53%		
		Fail	Best Practice	Design Excellence
Dwelling Type: Non-residential		(<49%)	(50-69%)	(>70%)
BESS Category	Score	Initiatives		
Management	0%	Preliminary energy rating assessment (NatHERS) to be undertaken		
Water	66%	<ul style="list-style-type: none"> • Rainwater tank capacity of 3,000L per dwelling connected to: Toilet flushing and laundry • High WELS star rated water fittings, fixtures and appliances 		

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

		<ul style="list-style-type: none"> Potable water consumption reduced by 47% compared to same building following minimum standards.
Energy	50%	
		<ul style="list-style-type: none"> Energy efficiency NatHERS rating to be undertaken
		<ul style="list-style-type: none"> High efficiency 5-star gas instantaneous hot water system specified
		<ul style="list-style-type: none"> Estimated greenhouse gas emissions reduced by 63% compared to compared to same building following minimum standards
Stormwater	100%	Pending validation
		<ul style="list-style-type: none"> Best practice water quality objectives achieved through on site stormwater management including rainwater collection and reuse and permeable pavement.
Indoor Environment Quality	60%	
		<ul style="list-style-type: none"> Northern orientation
		<ul style="list-style-type: none"> Double glazing to all habitable room windows
Transport	50%	
		<ul style="list-style-type: none"> Space for bicycle parking in each garage
Waste	50%	
		<ul style="list-style-type: none"> Space for food and garden waste bin provided
Urban Ecology	50%	
		<ul style="list-style-type: none"> 30% of the site is vegetated

Conclusion

The proposal is consistent with the provisions of the Greater Dandenong Planning Scheme, including the zoning requirements, local policy direction, application of Clauses 22.09, 52.06 and 55, and the decision guidelines of Clause 65.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Recommendation

That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as 15 Maple Street, Springvale VIC 3174 (Lot 20 LP 21287 Vol 8112 Fol 127), for 'the development of the land for four (4) double-storey dwellings' in accordance with the plans submitted with the application, and subject to the following conditions:

1. **Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended plans must be generally in accordance with the plans submitted and assessed with the application but modified to show:**
 - 1.1. **On the east and west elevations, each dwelling provided with a different colour or shading from the adjoining dwelling.**
 - 1.2. **A north facing upper floor window with sill height of 1.7m above finished first floor level to the hallway / stairway of Unit 4.**
 - 1.3. **Noise attenuation glass to the ground floor east facing windows of Units 1 and 4's kitchen and Units 2 and 3's foyer areas.**
 - 1.4. **The side boundary fencing and proposed internal boundary fencing to be at least 1.8m high.**
 - 1.5. **Stipulation of provision of double glazing to all habitable room windows.**
 - 1.6. **Amend rainwater tank capacity to 3,000L per dwelling as per SDA, BESS and STORM.**
 - 1.7. **Any other changes associated with the revised Sustainable Design Assessment with Condition 6.**
 - 1.8. **Tree protection measures in accordance with Condition 2.**
 - 1.9. **A landscape plan in accordance with Condition 3.**

When approved, these plans will be endorsed and will form part of this permit.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 2. Before the approved development starts, and before any trees or vegetation are removed, a Construction Impact Assessment and Tree Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The report must be completed by a suitably qualified Arborist (AQF Level 4 or above) and contain:**
 - 2.1. Number of trees to be retained and removed with the encroachment percentage for any works within the Tree Protection Zone of any tree. All trees on neighboring properties must be retained unless otherwise negotiated with the tree owners. Council trees will not be removed.**
 - 2.2. An existing condition plan and a proposed development plan, to scale, showing the location of the trees to be retained and removed. The plans must show the SRZ and TPZ of all trees assessed. The plan must also indicate the areas of encroachment from the proposal from any building or driveway, or any areas of significant level changes (cut & fill).**
 - 2.3. A detailed section describing the impacts of the development on the assessed trees. The assessment must detail how the impact may be minimised for any trees of high or moderate retention value, or trees on adjoining land (street trees and neighbouring property trees).**
 - 2.4. Suitable tree management and protection recommendations for all trees to be retained. These must be specific for each tree identified for retention and/or protection.**

Note: If major encroachment (greater than 10%) occurs to any tree to be retained or protected and its ability to remain in the landscape cannot be adequately justified (in accordance with Clause 3.3.4 of the Australian Standard AS4970), Council may request a Non-Destructive Root Investigation (NDRI) to be undertaken. Such investigations may only be carried out using Air Spade, Hydro excavation or by manual hand excavation. All investigations must be undertaken or supervised by a suitably qualified Arborist.
 - 2.5. All information must be consistent with the Australian Standard-AS-4970-2009, Protection of Trees on Development Sites.**
- 3. Before the approved development starts, and before any trees or vegetation are removed, an amended landscape plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended landscape plan must be prepared by a person or firm with suitable qualifications to**

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

the satisfaction of the Responsible Authority, drawn to scale with dimensions. The amended landscape plan must be generally in accordance with the landscape plan submitted with the application but modified to show:

- 3.1. plans to accord with Condition 1 of this permit;**
- 3.2. the site at a scale of 1:100/200, including site boundaries, existing and proposed buildings, neighbouring buildings, car parking, access and exit points, indicative topography and spot levels at the site corners, existing and proposed vegetation, nature strip trees, easements and landscape setbacks;**
- 3.3. nature strip trees, easements and landscape setbacks;**
- 3.4. details of the proposed layout, type and height of fencing;**
- 3.5. all screening structures and refuse collection locations;**
- 3.6. legend of all plant types, surfaces, materials and landscape items to be used including the total areas of garden and lawn;**
- 3.7. a plant schedule giving a description of botanical name, common name, mature height and spread, pot size, purchase height (if a tree) and individual plant quantities;**
- 3.8. any paving or deck areas within the secluded open space area of the proposed dwellings on a permeable base;**
- 3.9. at least one (1) advanced native canopy tree with a minimum planting height of 1.5 metres within the secluded open space areas of each dwelling;**
- 3.10. landscaping to the front of dwelling 1, including at least two (2) advanced native canopy trees with a planting height of 1.5 metres; shrubbery plantings, with a maximum mature height of 1 metre, to the west of dwelling 4 and along the southern edge of the proposed driveway;**
- 3.11. the protection of the trees on the abutting properties, along with tree protection zone requirements as required by Condition 2;**

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

When approved, the amended landscape plan will be endorsed and will form part of this permit.

The provisions, recommendations and requirements of the landscape plan must be implemented, maintained and complied with to the satisfaction of the Responsible Authority.

Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied.

At all times, the landscaping must be maintained in good order in accordance with the endorsed landscape plan and schedule to the satisfaction of the Responsible Authority.

- 4. Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.**
- 5. Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.**
- 6. Prior to the endorsement of plans under Condition 1, a revised Sustainable Design Assessment to the satisfaction of the responsible authority. The revised SDA must be in accordance with the design initiatives and commitments including in the SDA (prepared by Green Rate, dated 7 December 2021) but modified to include:
 - 6.1. Submission of a preliminary energy (NatHERS) rating for each unit that achieves an energy rating beyond 6-stars.**
 - 6.2. Revised BESS management and energy section that includes the completed energy rating inputs.**
 - 6.3. The STORM calculator lists an incorrect address and must be revised.**

The provisions, recommendations and requirements of the endorsed SDA must be implemented and complied with to the satisfaction of the Responsible Authority. The endorsed SDA and supporting documentation must not be altered without the prior written consent of the Responsible Authority.**
- 7. Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.**

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 8. The connection of the internal drainage infrastructure to the legal point of discharge must be to the satisfaction of the Responsible Authority.**
- 9. Collected stormwater must be retained onsite and discharged into the drainage system at pre-development peak discharge rates as stated in the legal point of discharge approval letter. Approval of drainage plan including any retention system within the property boundary is required.**
- 10. Access to the site and any associated roadwork must be constructed, all to the satisfaction of the Responsible Authority.**
- 11. Standard concrete vehicular crossing/s must be constructed to suit the proposed driveway/s in accordance with the Council's standard specifications. Any vehicle crossing no longer required must be removed and the land, footpath and kerb and channel reinstated, to the satisfaction of the Responsible Authority.**
- 11. Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.**
- 12. Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.**
- 13. Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.**
- 14. Before the approved building is occupied, the obscure glazing to the windows shown on the endorsed plans must be provided through frosted glass or similarly treated glass. Adhesive film or similar removable material must not be used.**
All glazing must at all times be maintained to the satisfaction of the Responsible Authority.
- 15. Before the approved building is occupied, all boundary walls in the development must be constructed, cleaned and finished to the satisfaction of the Responsible Authority.**

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 16. Letterboxes and all other structures (including visually obstructive fencing and landscaping) should be constructed to a maximum height of 900mm or relocated clear of a splayed area (2m x 2.5m) along the frontage road at access points in accordance with the Greater Dandenong Planning Scheme Clause 52.06-9.**
- 17. This permit will expire if:**
- 17.1. The development or any stage of it does not start within two (2) years of the date of this permit, or**
- 17.2. The development or any stage of it is not completed within four (4) years of the date of this permit.**

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- (a) the request for the extension is made within twelve (12) months after the permit expires; and**
- (b) the development or stage started lawfully before the permit expired.**

Permit Notes

Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.

Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council.

Prior to the drainage plans being approved, a drainage approval fee will need to be paid to Council.

A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

Approval of any retention system within the property boundary is required by the relevant building surveyor.

Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.

As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.

No buildings or works shall be constructed over any easement without the written consent of the relevant authorities.

This permit has been granted on the basis that consent to build over any easement will be obtained from the relevant authority. If consent is not able to be obtained, the development plan will be required to be amended.

MINUTE 476

Moved by: Cr Sean O'Reilly
Seconded by: Cr Rhonda Garad

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**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 1.3. Noise attenuation glass to the ground floor east facing windows of Units 1 and 4's kitchen and Units 2 and 3's foyer areas.**
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- 1.7. Any other changes associated with the revised Sustainable Design Assessment with Condition 6.**
- 1.8. Tree protection measures in accordance with Condition 2.**
- 1.9. A landscape plan in accordance with Condition 3.**

When approved, these plans will be endorsed and will form part of this permit.

- 2. Before the approved development starts, and before any trees or vegetation are removed, a Construction Impact Assessment and Tree Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The report must be completed by a suitably qualified Arborist (AQF Level 4 or above) and contain:**
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**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 2.3. A detailed section describing the impacts of the development on the assessed trees. The assessment must detail how the impact may be minimised for any trees of high or moderate retention value, or trees on adjoining land (street trees and neighbouring property trees).**
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- 3.5. all screening structures and refuse collection locations;**

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 3.6. legend of all plant types, surfaces, materials and landscape items to be used including the total areas of garden and lawn;**
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- 3.8. any paving or deck areas within the secluded open space area of the proposed dwellings on a permeable base;**
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- 3.10. landscaping to the front of dwelling 1, including at least two (2) advanced native canopy trees with a planting height of 1.5 metres; shrubbery plantings, with a maximum mature height of 1 metre, to the west of dwelling 4 and along the southern edge of the proposed driveway;**
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When approved, the amended landscape plan will be endorsed and will form part of this permit.

The provisions, recommendations and requirements of the landscape plan must be implemented, maintained and complied with to the satisfaction of the Responsible Authority.

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**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

- 5. Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.**

- 6. Prior to the endorsement of plans under Condition 1, a revised Sustainable Design Assessment to the satisfaction of the responsible authority. The revised SDA must be in accordance with the design initiatives and commitments including in the SDA (prepared by Green Rate, dated 7 December 2021) but modified to include:**
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The provisions, recommendations and requirements of the endorsed SDA must be implemented and complied with to the satisfaction of the Responsible Authority. The endorsed SDA and supporting documentation must not be altered without the prior written consent of the Responsible Authority.

- 7. Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.**

- 8. The connection of the internal drainage infrastructure to the legal point of discharge must be to the satisfaction of the Responsible Authority.**

- 9. Collected stormwater must be retained onsite and discharged into the drainage system at pre-development peak discharge rates as stated in the legal point of discharge approval letter. Approval of drainage plan including any retention system within the property boundary is required.**

- 10. Access to the site and any associated roadwork must be constructed, all to the satisfaction of the Responsible Authority.**

- 11. Standard concrete vehicular crossing/s must be constructed to suit the proposed driveway/s in accordance with the Council's standard specifications. Any vehicle crossing no longer required must be removed and the land, footpath and kerb and channel reinstated, to the satisfaction of the Responsible Authority.**

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

- 11. Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.**
- 12. Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.**
- 13. Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.**
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- 16. Letterboxes and all other structures (including visually obstructive fencing and landscaping) should be constructed to a maximum height of 900mm or relocated clear of a splayed area (2m x 2.5m) along the frontage road at access points in accordance with the Greater Dandenong Planning Scheme Clause 52.06-9.**
- 17. This permit will expire if:**
 - 17.1. The development or any stage of it does not start within two (2) years of the date of this permit, or**
 - 17.2. The development or any stage of it is not completed within four (4) years of the date of this permit.**

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- (a) the request for the extension is made within twelve (12) months after the permit expires; and**
- (b) the development or stage started lawfully before the permit expired.**

Permit Notes

Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.

Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council.

Prior to the drainage plans being approved, a drainage approval fee will need to be paid to Council.

A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.

Approval of any retention system within the property boundary is required by the relevant building surveyor.

Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.

As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.

No buildings or works shall be constructed over any easement without the written consent of the relevant authorities.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

This permit has been granted on the basis that consent to build over any easement will be obtained from the relevant authority. If consent is not able to be obtained, the development plan will be required to be amended.

CARRIED

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 15 MAPLE STREET, SPRINGVALE
(PLANNING APPLICATION NO. PLN21/0177)**

ATTACHMENT 1

SUBMITTED PLANS

PAGES 6 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

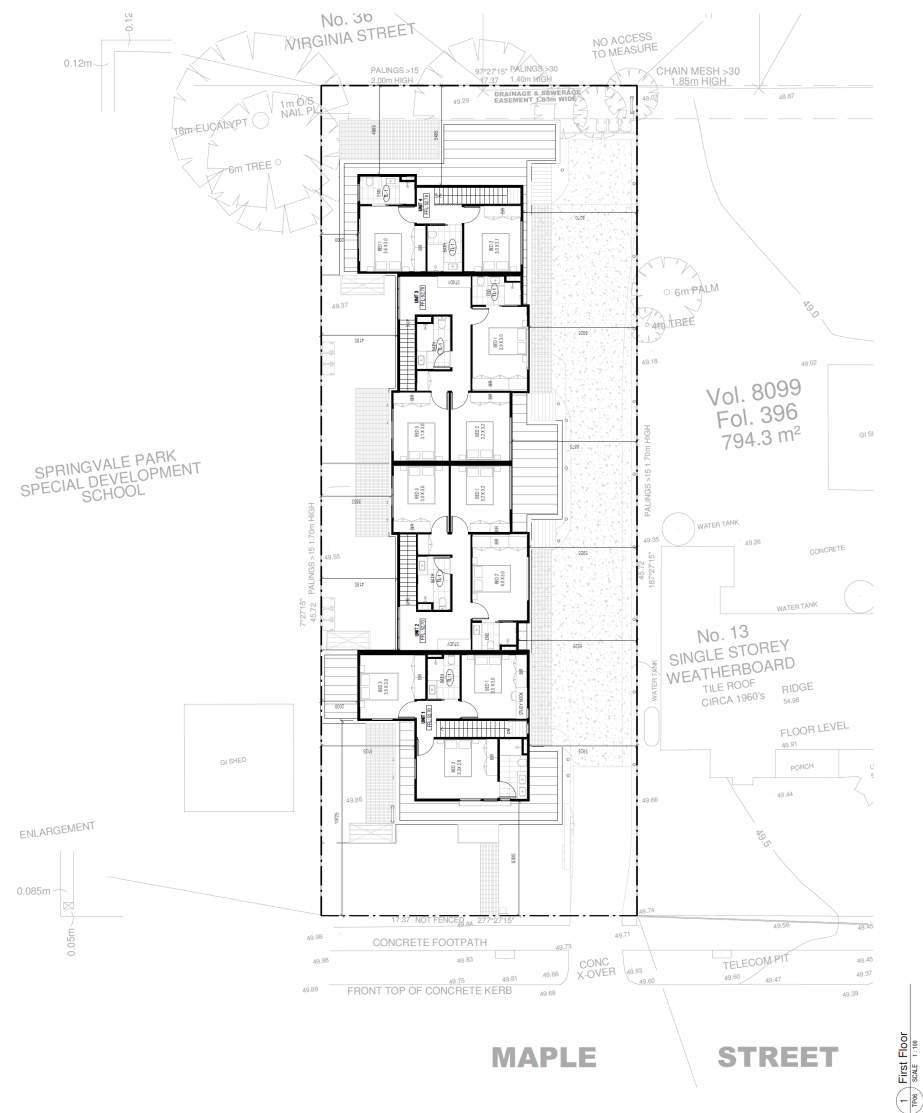
2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
 (Cont.)



2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

AREA SUMMARY	
NO.	AREA TYPE
1	RESIDENTIAL
2	COMMERCIAL
3	INDUSTRIAL
4	RECREATION
5	ROADS
6	UTILITIES
7	WATERWAYS
8	UNCLASSIFIED
9	UNCLASSIFIED
10	UNCLASSIFIED
11	UNCLASSIFIED
12	UNCLASSIFIED
13	UNCLASSIFIED
14	UNCLASSIFIED
15	UNCLASSIFIED
16	UNCLASSIFIED
17	UNCLASSIFIED
18	UNCLASSIFIED
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34	UNCLASSIFIED
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DEVELOPMENT SUMMARY	
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2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

NO.	REVISIONS	DATE
1	ISSUED FOR TOWN PLANNING	14/06/2022
2	ISSUED FOR TOWN PLANNING	14/06/2022
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20	ISSUED FOR TOWN PLANNING	14/06/2022

PROPOSED TOWNHOUSE DEVELOPMENT
 15 MAPLE STREET, SPRINGVALE

PROJECT NO. 1508
 DATE: 14/06/2022
 DRAWN BY: [Name]
 CHECKED BY: [Name]

ROOF PLAN

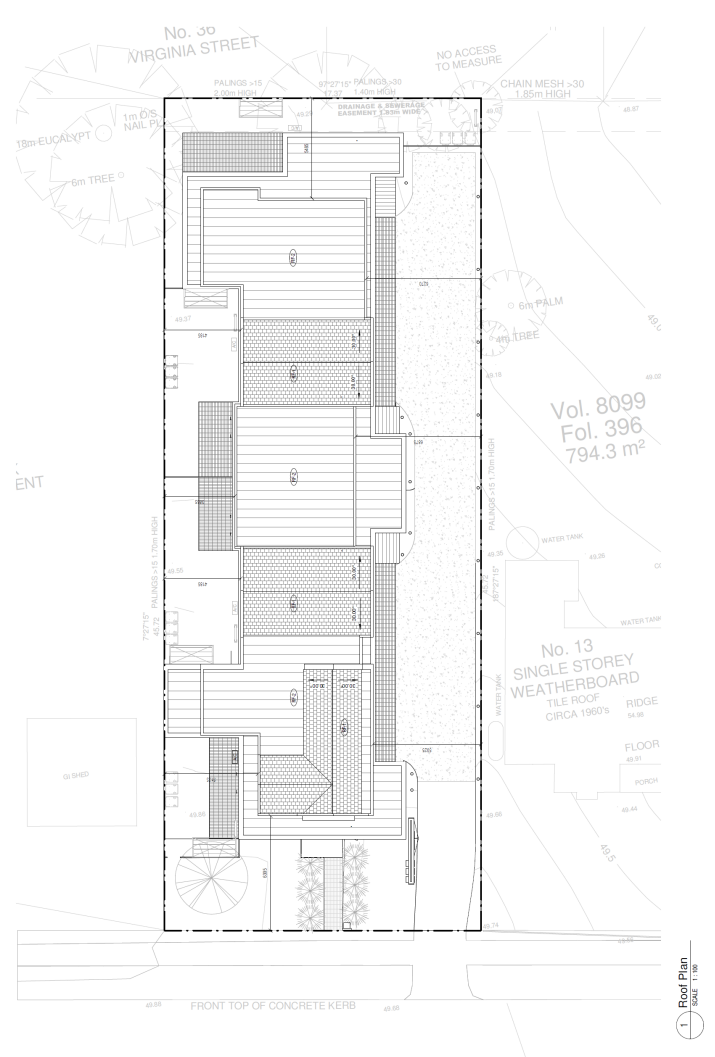
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ISSUED FOR TOWN PLANNING

TP05
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FINISHES & FINISHED SCHEDULE

NO.	DESCRIPTION
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4	CONCRETE SKYLINE
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2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
 (Cont.)

1 SOUTH ELEVATION
SCALE 1:100

2 NORTH ELEVATION
SCALE 1:100

3 EAST ELEVATION
SCALE 1:100

4 WEST ELEVATION
SCALE 1:100

FINISHES & FINISHED SCHEDULE

WALL	ROOF	FLOOR	CEILING	SKIN	GLASS	PAINT	IRON
EXTERIOR WALLS	ASBESTOS CEMENT CORRUGATED SHEET	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
INTERIOR WALLS	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
ROOF	ASBESTOS CEMENT CORRUGATED SHEET	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
FLOOR	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
CEILING	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
SKIN	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
GLASS	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON
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IRON	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB	GLASS	PAINT	IRON

FINISHES LEGEND

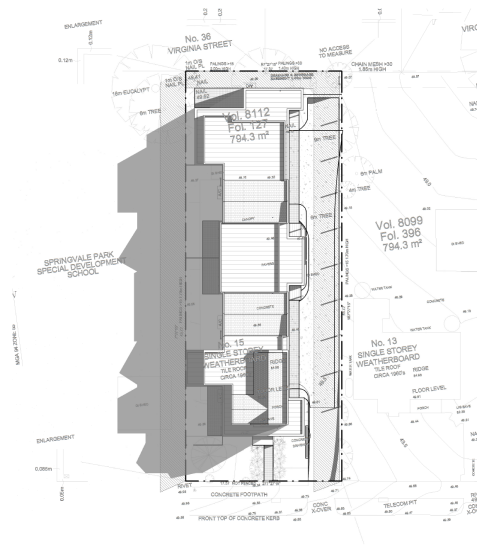
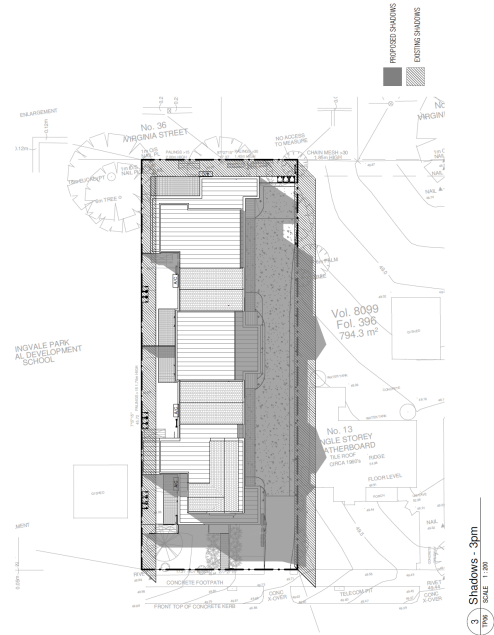
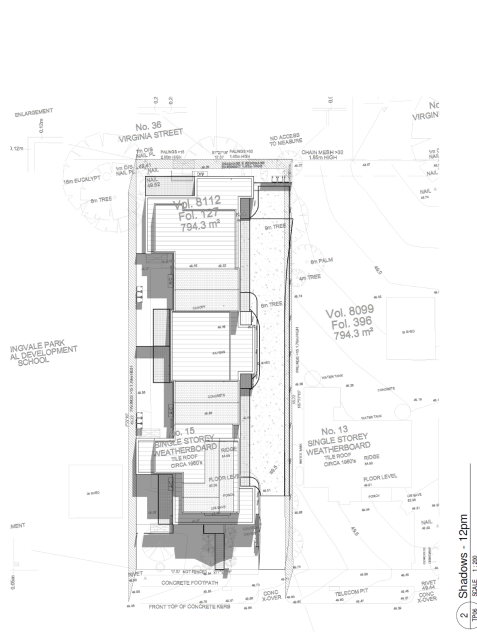
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PROPOSED TOWNHOUSE DEVELOPMENT
 15 MAPLE STREET, SPRINGVALE

USED FOR TOWN PLANNING
 TP06 0

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

NO.	REVISION	DATE
1	ISSUED FOR TOWN PLANNING	11/06/2022
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**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 15 MAPLE STREET, SPRINGVALE
(PLANNING APPLICATION NO. PLN21/0177)**

ATTACHMENT 2



LOCATION OF OBJECTORS

PAGES 2 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**



- LOCATION OF OBJECTORS
- MELWAY MAP REF: 80 – A9
-  SUBJECT SITE
-  NORTH

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 15 MAPLE STREET, SPRINGVALE
(PLANNING APPLICATION NO. PLN21/0177)**

ATTACHMENT 3

CLAUSE 22.09 ASSESSMENT

PAGES 11 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Assessment Table for Clause 22

Clause 22.09-3.1 Design Principles for all residential developments

Title /Objective	Principles	Principle met/Principle not met/NA
Safety	<p>To encourage the provision of safer residential neighbourhoods, new development should enable passive surveillance through designs that:</p> <p>Incorporate active frontages including ground floor habitable room windows.</p> <p>Maximise the number of habitable room windows on all levels of residential buildings that overlook the public realm, streets, laneways, internal access ways and car parking areas.</p> <p>Use semi-transparent fences to the street frontage.</p> <p>Light communal spaces including main entrances and car parking areas with high mounted sensor-lights.</p> <p>Ensure that all main entrances are visible and easily identifiable from the street.</p> <p>Locate non-habitable rooms such as bathrooms, away from entrances and street frontage.</p>	<p>Principle met/Principle not met/NA</p> <p>✓ Principle met</p> <p>The proposal would have active frontages with ground floor habitable room windows oriented towards the street and common accessway.</p> <p>✓ Principle met</p> <p>Passive surveillance of street and public realm is provided through windows fronting the street at both ground and upper floor levels. Habitable room windows are oriented towards the internal accessway and car parking areas.</p> <p>✓ Principle met</p> <p>No front fence is proposed.</p> <p>✓ Principle met</p> <p>High mounted sensor lights have been annotated adjacent or above each garage. bollard lights along the common accessway to provide security at night.</p> <p>✓ Principle met</p> <p>The entrances for the dwellings would be easily identifiable from the street or common accessway.</p> <p>✓ Principle met</p> <p>Non habitable rooms would be away from the from the entrances and are considered appropriate.</p>
Landscaping	Residential development should:	

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.</p>	<p>! Condition required A landscape plan has not been submitted as part of the application and would be requested as a condition of permit. It is noted that the proposal would be capable of accommodating substantial high quality landscaping, including screen planting and canopy trees within the frontages of each street and the rear, secluded private open space area of each dwelling.</p>
	<p>Provide substantial, high quality landscaping along vehicular accessways.</p>	<p>! Condition required The ground floor plan has shown concept planting along the common accessway. A landscape plan has not been submitted as part of the application and would be requested as a condition of permit.</p>
	<p>Include the planting of at least one substantial canopy tree to each front setback and ground level secluded private open space area.</p>	<p>! Condition required A landscape plan has not been submitted as part of the application and would be requested as a condition of permit. It is noted that the proposal would be capable of accommodating two canopy trees within the frontage and one per rear secluded private open space area. To ensure this outcome, it is recommended to be include as a condition of permit (should a permit be granted).</p>
	<p>Planting trees that are common to and perform well in the area.</p>	<p>! Condition required A landscape plan has not been submitted as part of the application and would be requested as a condition of permit.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Avoid the removal of existing mature trees by incorporating their retention into the site design.</p> <p>Use landscaping to soften the appearance of the built form when viewed from the street and to respect the amenity of adjoining properties.</p> <p>Ensure that landscaping also addresses the Safety Design Principles.</p> <p>Canopy trees should be planted in well proportioned setbacks/private open space that are sufficient to accommodate their future growth to maturity.</p> <p>Landscaping should minimise the impact of increased storm water runoff through water sensitive urban design and reduced impervious surfaces.</p> <p>Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.</p>	<p>! Condition required There are several trees on the site which would be removed for the development. Council's arborist has reviewed the proposal and have no objection to the removal of the trees on the site.</p> <p>There are two (2) large trees on the adjoining land to the west located near the boundary of the site. Council's arborist advised that a Tree Management Plan should be provided to ensure that the trees are protected from the proposed development. This could be conditioned.</p> <p>✓ Principle met The frontages would be capable of accommodating two canopy trees and more than 70% of the street frontage could accommodate landscaping which would be capable of softening the built form when viewed from the street.</p> <p>✓ Principle met Concept landscaping shown on the floor plan shows that the planting would not obscure the entrances.</p> <p>✓ Principle met The proposal would provide well-proportioned setbacks and private open space areas that would allow for canopy trees to be planted and grow to full maturity.</p> <p>✓ Principle met Landscaping is proposed that will have a water sensitive design.</p> <p>! Condition required A landscape plan has not been provided. Should a permit be granted, a condition is recommended for the permit that landscaping include indigenous species.</p>
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If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Car parking	<p>The existing level of on-street car parking should be maintained by avoiding second crossovers on allotments with frontage widths less than 17 metres.</p> <p>On-site car parking should be:</p> <ul style="list-style-type: none"> Well integrated into the design of the building, Generally hidden from view or appropriately screened where necessary, Located to the side or rear of the site so as to not dominate the streetscape and to maximise soft landscaping opportunities at ground level. <p>Where car parking is located within the front setback it should be:</p> <ul style="list-style-type: none"> Fully located within the site boundary; and Capable of fully accommodating a vehicle between a garage or carport and the site boundary. <p>Developments with basement car parking should consider flooding concerns where applicable.</p>	<p>✓ Principle met The existing crossover would be retained and modified to service the entire development. No new crossover is proposed.</p> <p>✓ Principle met All car spaces would be located behind Unit 1. The garages are well integrated with the development and hidden from the street.</p> <p>✓ Principle met No parking is located within the frontage.</p> <p>Not Applicable Basement parking not proposed</p>
Setbacks, front boundary and width	<p>Residential developments should:</p> <p>Provide a front setback with fence design and height in keeping with the predominant street pattern.</p> <p>Maintain the apparent frontage width pattern.</p> <p>Provide appropriate side setbacks between buildings to enable screen planting where required, and at least one generous side setback to enable the retention of trees and/or the planting and future growth of trees to maturity.</p> <p>Provide open or low scale front fences to allow a visual connection between landscaping in front gardens and street tree planting.</p>	<p>✓ Principle met The proposed setbacks are in keeping with the adjoining dwellings and streetscape pattern. No front fence is proposed.</p> <p>✓ Principle met The existing frontage width pattern would not be significantly altered.</p> <p>✓ Principle met Side setbacks would allow for tree planting.</p> <p>✓ Principle met No front fence is proposed.</p> <p>✓ Principle met Each dwelling complies with the minimum secluded private open space areas under the Schedule to the Zone and is directly accessible from the main living area.</p>
Private open space	<p>All residential developments should provide good quality, useable private open space for each dwelling directly accessible from the main living area.</p>	<p>✓ Principle met Each dwelling complies with the minimum secluded private open space areas under the Schedule to the Zone and is directly accessible from the main living area.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Ground level private open space areas should be able to accommodate boundary landscaping, domestic services and outdoor furniture so as to maximise the useability of the space.</p> <p>Private open space should be positioned to maximise solar access.</p> <p>Upper floor levels of the same dwelling should avoid encroaching secluded private open space areas to ensure the solar access, useability and amenity of the space is not adversely affected.</p> <p>Upper level dwellings should avoid encroaching the secluded private open space of a separate lower level dwelling so as to ensure good solar access and amenity for the lower level dwelling.</p>	<p>✓ Principle met Indicative landscaping suggests that the private open spaces are usable spaces for domestic services and outdoor furniture and is capable of accommodating boundary landscaping.</p> <p>✓ Principle met The primary secluded private open spaces of the dwellings would be orientated to the north for Unit 4 and to the west for Units 1 to 3. This is considered appropriate considering the orientation of the site.</p> <p>✓ Principle met The upper floors do not encroach on the ground floor private open space</p> <p>Not Applicable Apartments not proposed</p>
<p>Bulk & Built Form</p>	<p>All residential developments should respect the dominant façade pattern of the streetscape by:</p> <ul style="list-style-type: none"> Using similarly proportioned roof forms, windows, doors and verandahs; and Maintaining the proportion of wall space to windows and door openings. <p>Balconies should be designed to reduce the need for screening from adjoining dwellings and properties.</p> <p>The development of new dwellings to the rear of existing retained dwellings is discouraged where:</p> <ul style="list-style-type: none"> The siting of the retained dwelling would not enable an acceptable future site layout for either the proposed or future dwelling; or The retention of the existing dwelling detracts from the identified future character. 	<p>✓ Principle met The proposed dwellings are designed to be in keeping with the streetscape and neighbourhood character. The proposal has incorporated a mixed of flat and pitched roof which is considered appropriate for the GRZ3 and the proximity of the site to the Springvale Activity Centre. Windows, doors and roof proportions and heights are respectful of the dominant façade pattern within the broader area.</p> <p>✓ Principle met Balconies are not proposed</p> <p>✓ Principle met The existing dwelling would be demolished for the proposed development.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>On sites adjacent to identified heritage buildings, infill development should respect the adjoining heritage by:</p> <ul style="list-style-type: none"> • Not exceeding the height of the neighbouring significant building; • Minimising the visibility of higher sections of the new building; and • Setting higher sections back at least the depth of one room from the frontage. 	<p>✓ Principle met The site is not adjacent to a heritage building</p>
<p>Site Design</p>	<p>Residential development should:</p> <p>Preserve the amenity of adjoining dwellings through responsive site design that considers the privacy, solar access and outlook of adjoining properties.</p> <p>Maximise thermal performance and energy efficiency of the built form by addressing orientation, passive design and fabric performance.</p> <p>Ensure that building height, massing articulation responds sensitively to existing residential interfaces, site circumstances, setbacks and streetscape and reduces the need for screening.</p> <p>Provide sufficient setbacks (including the location of basements) to ensure the retention of existing trees and to accommodate the future growth of new trees.</p> <p>Provide suitable storage provisions for the management of operational waste</p> <p>Appropriately located suitable facilities to encourage public transport use, cycling and walking.</p>	<p>✓ Principle met No issues identified in regard to the overlooking and overshadowing in the Clause 55 assessment.</p> <p>✓ Principle met Large windows are proposed to enable thermal performance and lessen reliance on artificial heating and cooling.</p> <p>✓ Principle met The development would orientate the majority of habitable room windows toward the street where possible to limit the need for screening.</p> <p>✓ Principle met Sufficient setbacks are provided to the front, side and rear to allow for canopy and screen planting.</p> <p>✓ Principle met Storage areas have been provided for each dwelling.</p> <p>✓ Principle met The site is located conveniently close to the Springvale Train Station which is 290m to the southwest.</p>
<p>Materials &</p>	<p>Residential development should:</p>	

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

<p>Finishes</p>	<p>Use quality, durable building materials and finishes that are designed for residential purposes.</p> <p>Avoid the use of commercial or industrial style building materials and finishes.</p> <p>Avoid using materials such as rendered cement sheeting, unarticulated surfaces and excessive repetitive use of materials.</p> <p>Use a consistent simple palette of materials, colours finishes and architectural detailing.</p>	<p>✓ Principle met The proposed materials of face bricks and rendered cladding are similar to those found in surrounding residential developments.</p> <p>✓ Principle met Materials are suited to residential developments</p> <p>✓ Principle met The proposal has been well articulated through variation to form and materials and varying setbacks.</p> <p>! Condition required On the west elevation, a light grey colour is provided to 80% of the first floor whilst 80% of the ground floor is provided with a dark grey colour. It is recommended that each dwelling should be provided with a different colour or shading from the adjoining dwelling to provide each dwelling with a sense of identity from the adjoining dwelling. This could be conditioned.</p> <p>On the east elevation, a dark grey colour is provided to the entire ground floor walls. The first floor colour shading is varied for Units 1 to 3 but the same colour shading is used for Units 3 and 4. It is recommended that the same condition applying to the west elevation should apply to the east elevation requiring each dwelling to be provided with a different colour or shading to the adjoining dwelling. This could be conditioned.</p>
<p>Domestic services normal</p>	<p>Maximise the ongoing affordability and sustainability of residential developments through the selection of low maintenance, resource and energy efficient materials and finishes that can be reasonably expected to endure for the life of the building.</p> <p>In order to minimise the impact of domestic and building services on the streetscape, adjacent properties, public realm and amenity of future residents, new residential development should:</p>	<p>✓ Principle met The materials chosen are durable.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

<p>To a dwelling and Building services</p>	<p>Ensure that all domestic and building services are visually integrated into the design of the building and appropriately positioned or screened so as to not be seen from the street or adjoining properties.</p> <p>Be designed to avoid the location of domestic and building services:</p> <ul style="list-style-type: none"> • Within secluded private open space areas, including balconies; and • Where they may have noise impacts on adjoining habitable rooms and secluded private open space areas. 	<p>✓ Principle met The proposed mail boxes are located adjacent to the street.</p> <p>✓ Principle met Domestic services would be located away from the prime secluded private open space areas. The proposed mail boxes are located adjacent to the streets.</p>
<p>Internal Amenity</p>	<p>Residential development should:</p> <p>Ensure that dwelling layouts have connectivity between the main living area and private open space.</p> <p>Be designed to avoid reliance on borrowed light to habitable rooms.</p> <p>Ensure that balconies and habitable room windows are designed and located to reduce the need for excessive screening.</p> <p>Ensure that dwellings without ground level main living areas meet the Standards of Clauses 55.03-5, 55.04-1, 6 & 7, 55.05-3, 4 & 5.</p>	<p>✓ Principle met Living room and prime POS for each dwelling is connected.</p> <p>✓ Principle met Windows are provided to all habitable rooms and would not rely on borrow light.</p> <p>✓ Principle met The development would orientate the majority of habitable room windows toward the street or common accessway.</p> <p>✓ Principle met All the dwellings would have ground floor living areas.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 22.09-3.3 Design principles for Incremental Change Areas – General Residential Zone (GRZ) Principle met/Principle not met/NA	
Titles & Objectives	Principles
Preferred housing type	The preferred housing type for the Incremental Change Area is medium density. ✓ Principle met Medium density proposed
Building Height	The preferred maximum building height for land within the GRZ1 and GRZ2 is up to 2 storeys, including ground level. The preferred maximum building height for land within the GRZ3 is 3 storeys, including ground level. ✓ Principle met Two storeys proposed
Landscaping	Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties ✓ Principle met Adequate space would be reserved for landscaping which could accommodate canopy trees.
Setbacks, front boundary and width	Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street. ✓ Principle met Paving is limited to the 3-metre wide crossover and a pedestrian accessway.
Private open space	Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing. ✓ Principle met The secluded private open space is located at either the side or rear of the dwellings.
Bulk & Built Form	Residential development should: <ul style="list-style-type: none"> ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape; be well articulated through the use of contrast, texture, variation in forms, materials and colours. ✓ Principle met The built form is not dissimilar to the surrounding developments.
	Residential development in the GRZ1 and GRZ2 should: <ul style="list-style-type: none"> provide separation between dwellings at the upper level; retain spaces of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space; position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot. ✓ Principle met The built form is not dissimilar to the surrounding developments.
	Residential development in the GRZ1 and GRZ2 should: <ul style="list-style-type: none"> provide separation between dwellings at the upper level; retain spaces of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space; position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot. Not applicable All upper floors would be attached. As the site is within a GRZ3, separation at first floor is not required.

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Within the GRZ1 and GRZ2 the rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.</p> <p>Two storey dwellings to the rear of a lot in the GRZ1 and GRZ2 may be considered where:</p> <ul style="list-style-type: none"> the visual impact of the building bulk does not adversely affect the identified future character of the area; overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties; the building bulk does not adversely affect the planting and future growth of canopy trees to maturity; sufficient side and rear boundary landscaping can be provided to screen adjoining properties; upper storey components are well recessed from adjoining sensitive interfaces. <p>Separation between upper levels of dwellings on a site in the GRZ3 is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts.</p>	<p>Not applicable All the dwellings would be double storey. As the site is within a GRZ3, separation at first floor is not required.</p> <p>Condition required As mentioned in the above assessment under Materials & Finishes, the elevations could be further improved by requiring each dwelling to have a different colour or shading from the adjoining dwelling. This could be conditioned.</p>
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Note: Other requirements also apply. These can be found at the schedule to the applicable zone.

If the details of the attachment are unclear please contact Governance on 8571 5309.

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 15 MAPLE STREET, SPRINGVALE
(PLANNING APPLICATION NO. PLN21/0177)**

ATTACHMENT 4

CLAUSE 52.06 ASSESSMENT

PAGES 6 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Assessment Table - Clause 52.06

Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise. Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

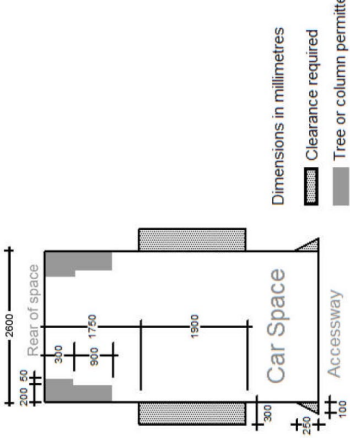
Design Standards	Assessment	Requirement met/Requirement not met/NA
Design standard 1 - Accessways	<p>Accessways must:</p> <ul style="list-style-type: none"> Be at least 3 metres wide. Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide. Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre. Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres. If the accessway serves four or more car spaces or connects to a road in a Transport Zone 2 or Transport Zone 3, the accessway must be designed so that cars can exit the site in a forward direction. Provide a passing area at the entrance at least 6.1 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in a Transport Zone 2 or Transport Zone 3. Have a corner splay or area at least 50 percent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height. 	<p>✓ Standard met The proposed accessway would be 3.5 metres wide.</p> <p>✓ Standard met There would be internal radius of 4m for vehicles to turn on the site and exit in a forward direction from the common driveway. The proposal was referred to Council's Transport Planning team, who had no concern with the proposed parking layout.</p> <p>Not Applicable</p> <p>✓ Standard met The accessway or garage doors would have a headroom clearance of at least 2.1m.</p> <p>✓ Standard met There would be internal radius of 4m for vehicles to turn on the site and exit in a forward direction from the common driveway.</p> <p>✓ Standard met The accessway would serve seven (7) car spaces. Thus, a passing area is not required.</p> <p>✓ Standard met Corner splays have been provided and annotated.</p>

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

<p>Design standard 2 – Car parking spaces</p>	<p>If an accessway to four or more car parking spaces is from land in a Transport Zone 2 or Transport Zone 3, the access to the car spaces must be at least 6 metres from the road carriageway.</p> <p>If entry to the car space is from a road, the width of the accessway may include the road.</p> <p>Car parking spaces and accessways must have the minimum dimensions as outlined in Table 2.</p> <p>Table 2: Minimum dimensions of car parking spaces and accessways</p> <table border="1"> <thead> <tr> <th>Angle of car parking spaces to access way</th> <th>Accessway width</th> <th>Car space width</th> <th>Car space length</th> </tr> </thead> <tbody> <tr> <td>Parallel</td> <td>3.6 m</td> <td>2.3 m</td> <td>6.7 m</td> </tr> <tr> <td>45°</td> <td>3.5 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>60°</td> <td>4.9 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>90°</td> <td>6.4 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.8 m</td> <td>2.8 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.2 m</td> <td>3.0 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>4.8 m</td> <td>3.2 m</td> <td>4.9 m</td> </tr> </tbody> </table> <p><i>Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard AS2890.6-2009 (disabled).</i></p>	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length	Parallel	3.6 m	2.3 m	6.7 m	45°	3.5 m	2.6 m	4.9 m	60°	4.9 m	2.6 m	4.9 m	90°	6.4 m	2.6 m	4.9 m		5.8 m	2.8 m	4.9 m		5.2 m	3.0 m	4.9 m		4.8 m	3.2 m	4.9 m	<p>Not Applicable The site does not adjoin a Transport Zone.</p> <p>Not Applicable</p> <p>✓ Standard met All garages comply with the minimum required.</p>
	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length																														
Parallel	3.6 m	2.3 m	6.7 m																															
45°	3.5 m	2.6 m	4.9 m																															
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90°	6.4 m	2.6 m	4.9 m																															
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	5.2 m	3.0 m	4.9 m																															
	4.8 m	3.2 m	4.9 m																															

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

<p>✓ Standard met Proposed garages provided would have sufficient internal clearance and not obstructed.</p>	<p>A wall, fence, column, tree, tree guard or any other structure that abuts a car space must not encroach into the area marked 'clearance required' on Diagram 1, other than:</p> <ul style="list-style-type: none"> • A column, tree or tree guard, which may project into a space if it is within the area marked 'tree or column permitted' on Diagram 1. • A structure, which may project into the space if it is at least 2.1 metres above the space. <p>Diagram 1 Clearance to car parking spaces</p>  <p>Dimensions in millimetres ■ Clearance required ■ Tree or column permitted</p>	<p>✓ Standard met The double garages provided would be 5.5m wide x 6m long and single garages would be 3.5m wide by 6m long.</p>
<p>✓ Standard met The garage of Unit 1 would be 3.5m wide by 11m long and capable to accommodate two (2) car spaces in a tandem arrangement.</p>	<p>Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.</p> <p>Where parking spaces are provided in tandem (one space behind the other) an additional 500mm in length must be provided between each space.</p> <p>Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.</p>	<p>✓ Standard met Each dwelling would have at least 1 undercover car space.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.</p>	<p>Not Applicable</p>																
<p>Design standard 3: Gradients</p>	<p>Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.</p> <p>Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.</p> <table border="1" data-bbox="416 698 606 1559"> <thead> <tr> <th colspan="3">Table 3: Ramp gradients</th> </tr> <tr> <th>Type of car park</th> <th>Length of ramp</th> <th>Maximum grade</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Public car parks</td> <td>20 metres or less</td> <td>1:5 (20%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:6 (16.7%)</td> </tr> <tr> <td rowspan="2">Private or residential car parks</td> <td>20 metres or less</td> <td>1:4 (25%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:5 (20%)</td> </tr> </tbody> </table> <p>Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.</p> <p>Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.</p>	Table 3: Ramp gradients			Type of car park	Length of ramp	Maximum grade	Public car parks	20 metres or less	1:5 (20%)	longer than 20 metres	1:6 (16.7%)	Private or residential car parks	20 metres or less	1:4 (25%)	longer than 20 metres	1:5 (20%)	<p>Standard met The land is generally flat with a fall of 0.65m from the front to the rear. The grades of the driveway would not be steeper than 1:10 within 5m of the frontage.</p> <p>Standard met</p>
Table 3: Ramp gradients																		
Type of car park	Length of ramp	Maximum grade																
Public car parks	20 metres or less	1:5 (20%)																
	longer than 20 metres	1:6 (16.7%)																
Private or residential car parks	20 metres or less	1:4 (25%)																
	longer than 20 metres	1:5 (20%)																
<p>Design standard 4: Mechanical parking</p>	<p>Mechanical parking may be used to meet the car parking requirement provided:</p> <ul style="list-style-type: none"> At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of at least 1.8 metres. Car parking spaces the require the operation of the system are not allowed to visitors unless used in a valet parking situation. The design and operation is to the satisfaction of the responsible authority. 	<p>Not Applicable No mechanical parking proposed.</p> <p>Not Applicable</p> <p>Not Applicable</p>																
<p>Design standard 5: Urban design</p>	<p>Ground level car parking, garage doors and accessways must not visually dominate public space.</p>	<p>Standard met All car spaces would be behind Unit 1 and not dominate the street.</p>																

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.</p> <p>Design of car parks must take into account their use as entry points to the site.</p> <p>Design of new internal streets in developments must maximise on street parking opportunities.</p> <p>Car parking must be well lit and clearly signed.</p> <p>The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.</p> <p>Pedestrian access to car parking areas from the street must be convenient.</p> <p>Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.</p>	<p>✓ Standard met Car parking within the garages would integrate with the design of the building and would not be visually dominating.</p> <p>✓ Standard met Proposed car parks are appropriate.</p> <p>Not Applicable</p> <p>✓ Standard met Security lighting have been annotated on the plans.</p> <p>✓ Standard met The car spaces and common driveway would have natural surveillance from the ground floors habitable room windows.</p> <p>✓ Standard met Access to the car parking areas would be convenient from the street.</p> <p>✓ Standard met The street adjoining the site is not a high traffic street.</p>
Design standard 6: Safety		
Design standard 7: Landscaping	<p>The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.</p> <p>Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.</p> <p>Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.</p>	<p>✓ Standard met Landscaping would be provided along both sides of the accessway to provide adequate catchment areas for water run-off.</p> <p>✓ Standard met Landscaping would be provided along both sides of the accessway to soften the appearance of the driveway.</p> <p>✓ Standard met Substantial landscaping and adequate spacing for canopy trees have been provided.</p>

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
(Cont.)**

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION – NO. 15 MAPLE STREET, SPRINGVALE
(PLANNING APPLICATION NO. PLN21/0177)**

ATTACHMENT 5

CLAUSE 55 ASSESSMENT

PAGES 30 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Assessment Table - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)

Clause 55.02-1 Neighbourhood character objectives

Title & Objective		Standard Met/Standard Not Met/NA
Standard B1	The design response must be appropriate to the neighbourhood and the site.	<p>✓ Standard met</p> <p>The design response is considered appropriate in the context of the site and surrounding area, with a proposal for a medium density residential development in an established and well-serviced area.</p> <p>At a site level, the design response has considered matters relating to overshadowing and overlooking, with compliance with all relevant standards and objectives.</p> <p>The provision of areas of landscaping responds to the landscaped character of the surrounding area and the use of brickwork and rendered first floor generally matches the style and materials palette of the wider area.</p> <p>The proposal has been designed in a way to respect the area while delivering on the expectations for medium density development.</p> <p>See Clause 22.09 Assessment for further discussion.</p>
Decision Guidelines	<p>The proposed design response must respect the existing or preferred neighbourhood character and respond to the features of the site.</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The neighbourhood and site description.</p> <p>The design response.</p>	<p>✓ Standard met</p> <p>See Clause 22.09 Assessment for further discussion.</p>
Objectives	<p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	

If the details of the attachment are unclear please contact Governance on 8571 5309.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.02-2 Residential policy objectives

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B2	An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the PPF and the LPPF, including the MSS and local planning policies.	The PPF and the LPPF including the MSS and local planning policies. The design response.	Standard met The application was accompanied by a written assessment of the proposal against the relevant PPF and Local Policies.
Decision Guidelines	To ensure that residential development is provided in accordance with any policy for housing in the PPF and the LPPF, including the MSS and local planning policies. To support medium densities in areas where development can take advantage of public and community infrastructure and services.		Objective met

Clause 55.02-3 Dwelling diversity objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B3	Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: <ul style="list-style-type: none"> • Dwellings with a different number of bedrooms. • At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 		N/A As less than 10 dwellings proposed.
Objective	To encourage a range of dwellings sizes and types in developments of ten or more dwellings.		Objective met

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.02-4 Infrastructure objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B4	<p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p>Standard met Development can be suitably accommodated into infrastructure of the established area.</p> <p>Standard met Development can be suitably accommodated into infrastructure of the established area.</p> <p>Standard met Development can be suitably accommodated into infrastructure of the established area.</p>
Decision Guidelines	<p>The capacity of the existing infrastructure.</p> <p>In the absence of reticulated sewerage, a Land Capability Assessment on the risks to human health and the environment of an on-site wastewater management system constructed, installed or altered on the lot in accordance with the requirements of the Environment Protection Regulations under the Environment Protection Act 2017.</p> <p>If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system.</p>	
Objectives	<p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p>Objective met</p>

**2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
 (Cont.)**

Clause 55.02-5 Integration with the street objective

Standards		Standard Met/Standard Not Met/NA
Title & Objective Standard B5	Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.	Standard met Each dwelling is accessible by vehicles and pedestrians.
	Developments should be oriented to front existing and proposed streets.	Standard met The front dwelling would face Maple Street. The remaining units face the internal accessway.
	High fencing in front of dwellings should be avoided if practicable.	Standard met No front fence is proposed.
	Development next to existing public open space should be laid out to complement the open space.	N/A The site is not next to public open space.
	Any relevant urban design objective, policy or statement set out in this scheme.	
Decision Guidelines	The design response.	
Objective	To integrate the layout of development with the street.	Objective met

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.03-1 Street setback objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B6	Walls of buildings should be set back from streets: <ul style="list-style-type: none"> • At least the distance specified in a schedule to the zone, or • If no distance is specified in a schedule to the zone, the distance specified in Table B1. Porches, pergolas, and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. GRZ3: 5 metres or as per Table B1, whichever is the lesser.	Standard met The proposed Unit 1 would have a front setback from Maple Street of 5m, consistent with the setback permitted by Schedule 3 to the General Residential Zone.

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
	<p>There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</p>	<p>The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</p>	<p>Not applicable</p>
	<p>There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.</p>	<p>The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</p>	<p>Not applicable</p>
	<p>There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.</p>	<p>6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>Not applicable</p>
	<p>The site is on a corner.</p>	<p>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</p>
<p>Decision Guidelines</p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots.</p> <p>The visual impact of the building when viewed from the street and from adjoining properties.</p> <p>The value of retaining vegetation within the front setback.</p> <p>To ensure that the setbacks of buildings from a street respect the existing or preferred</p>		
<p>Objective</p>	<p>✓ Objective met</p>		

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

neighbourhood character and make efficient use of the site.	
Clause 55.03-2 Building height objective	
Title & Objective	Standard Met/Standard Not Met/NA
Standard B7	<p>✓ Standard met Proposed maximum height is 7.6.</p>
	N/A
	<p>✓ Standard met The proposed first floors would be generally recessed from the ground floors to provide a transition of single storey element to the surrounding developments.</p>
Decision Guidelines	
	<p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. GRZ: 11 metres / 3 storeys mandatory maximum (refer Clause 32.08-9)</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.</p> <p>The design response.</p> <p>The effect of the slope of the site on the height of the building.</p> <p>The relationship between the proposed building height and the height of existing adjacent buildings.</p> <p>The visual impact of the building when viewed from the street and from adjoining properties.</p> <p>To ensure that the height of buildings respects the existing or preferred neighbourhood character</p>
Objective	<p>✓ Objective met</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.03-3 Site coverage objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B8	The site area covered by buildings should not exceed: <ul style="list-style-type: none"> The maximum site coverage specified in a schedule to the zone, or If no maximum site coverage is specified in a schedule to the zone, 60 per cent. GRZ3: 70% maximum	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The existing site coverage and any constraints imposed by existing development or the features of the site.</p> <p>The site coverage of adjacent properties</p> <p>The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.</p> <p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p>Standard met</p> <p>Lot size 794sqm</p> <p>Maximum site coverage permitted: 70%.</p> <p>Site coverage provided: 43.6%</p>
Decision Guidelines			
Objective			Objective met

Clause 55.03-4 Permeability objectives

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B9	The site area covered by the pervious surfaces should be at least: <ul style="list-style-type: none"> The minimum areas specified in a schedule to the zone, or If no minimum is specified in a schedule to the zone, 20 per cent of the site. <p>The stormwater management system should be designed to:</p> <ul style="list-style-type: none"> Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999). Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces. 	<p>The design response.</p> <p>The capacity of the site to incorporate stormwater retention and reuse.</p>	<p>Standard met</p> <p>Minimum permeability required: 20%.</p> <p>Permeability provided: 35.8%.</p>
Decision Guidelines			

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>The existing site coverage and any constraints imposed by existing development.</p> <p>The capacity of the drainage network to accommodate additional stormwater.</p> <p>The capacity of the site to absorb run-off.</p> <p>The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres.</p> <p>Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system</p> <p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p>
Objectives	<p>✓ Objective met</p>

Clause 55.03-5 Energy efficiency objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B10</p>	<p>Buildings should be:</p> <ul style="list-style-type: none"> • Oriented to make appropriate use of solar energy. • Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. • Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged. <p>Living areas and private open space should be located on the north side of the development, if practicable.</p>	<p>Standard Met/Standard Not Met/NA</p> <p>✓ Standard met</p> <p>All the dwellings would be provided with north-facing windows.</p> <p>✓ Standard met</p> <p>The primary secluded private open space of Unit 4 would be to the north. For Units 1 to 3, the primary SPOS would be to the west. This is considered acceptable considering the orientation of the site.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p>! Condition required There is limited opportunity for north facing windows due to the orientation of the site. The ground floor of Unit 4 would have a window to the kitchen and living room. On the first floor, there would be no north facing window provided. It is considered that there is an opportunity for a north facing window with sill height of 1.7m to the hallway / stair of Unit 4. This could be required as a condition of any permit to be granted.</p>
<p>Decision Guidelines</p>	<p>The design response. The size, orientation and slope of the lot. The existing amount of solar access to abutting properties. The availability of solar access to north-facing windows on the site. The extent to which an existing rooftop solar energy system on an adjoining lot is overshadowed by existing buildings or other permanent structures. Whether the existing rooftop solar energy system on an adjoining lot is appropriately located. The effect of overshadowing on an existing rooftop solar energy system on an adjoining lot.</p>	
<p>Objectives</p>	<p>To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p>	<p>✓ Objective met</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.03-6 Open space objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B11		If any public or communal open space is provided on site, it should: <ul style="list-style-type: none"> • Be substantially fronted by dwellings, where appropriate. • Provide outlook for as many dwellings as practicable. • Be designed to protect any natural features on the site. • Be accessible and useable. 	N/A No communal or public open space proposed.
Decision Guidelines		Any relevant plan or policy for open space in the Municipal Planning Strategy and the Planning Policy Framework. The design response.	
Objective		To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	✓ Objective met

Clause 55.03-7 Safety objective

Title & Objective		Standards	Standard Met/Standard Not Met/NA
Standard B12		Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.	The entry to each dwelling would be visible from Maple Street or the accessway. ✓ Standard met Planting along the shared accessways would be low ground cover plants which would not reduce visibility of the entrances of the dwellings. ✓ Standard met High mounted sensor lights have been annotated adjacent or above each garage. Bollard lights have also been annotated along the common accessway to provide security at night. ✓ Standard met Private spaces are delineated by fencing.
Decision Guidelines		The design response.	
Objectives		To ensure the layout of development provides for the safety and security of residents and property.	✓ Objective met

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.03-8 Landscaping objectives	
Title & Objective	Standards
Standard B13	<p>The landscape layout and design should:</p> <ul style="list-style-type: none"> • Protect any predominant landscape features of the neighbourhood. • Take into account the soil type and drainage patterns of the site. • Allow for intended vegetation growth and structural protection of buildings. • In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. • Provide a safe, attractive and functional environment for residents. <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made</p>
Decision Guidelines	<p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p> <p>All schedules to all residential zones: "70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees."</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>Any relevant plan or policy for landscape design in the Municipal Planning Strategy and the Planning Policy Framework.</p> <p>The design response.</p> <p>The location and size of gardens and the predominant plant types in the neighbourhood.</p> <p>The health of any trees to be removed.</p> <p>Whether a tree was removed to gain a development advantage.</p>
	<p>Standard Met/Standard Not Met/NA</p> <p>! Condition required Adequate space has been provided to allow landscaping including canopy trees within the secluded private open spaces and front yard. A detailed landscape plan incorporating native canopy trees could be required as a condition of approval.</p> <p>✓ Standard met There are several trees on the site which would be removed for the development. Council's arborist has reviewed the proposal and have no objection to the removal of the trees on the site.</p> <p>! Condition required No significant trees would be removed. Replacement trees would be provided via condition of approval.</p> <p>! Condition required As above, a landscape plan would be requested as a condition of any permit to be granted.</p> <p>✓ Standard met 70% of the front, side and rear setback areas would be provided with landscaping.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Objectives	<p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>
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! Objective met subject to conditions

Clause 55.03-9 Access objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B14	<p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> • 33 per cent of the street frontage, or • if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>Standard Met/Standard Not Met/NA</p> <p>✓ Standard met Street frontage to Maple Street = 17.37m Maximum accessway width permitted: 40% or 6.64m Accessway width provided: 17.27% or 3m</p> <p>✓ Standard met. The crossover would be single width (3m wide).</p> <p>✓ Standard met No on-street car parking would be lost from the proposed development.</p> <p>N/A The site does not adjoin a Transport Zone.</p> <p>✓ Standard met The accessway provided would be adequate in size for service, emergency and delivery vehicles.</p>
Decision Guidelines	<p>The design response.</p> <p>The impact on neighbourhood character.</p> <p>The reduction of on-street car parking spaces.</p> <p>The effect on any significant vegetation on the site and footpath.</p>	
Objectives	To ensure the number and design of vehicle crossovers respects the neighbourhood character.	✓ Objective met

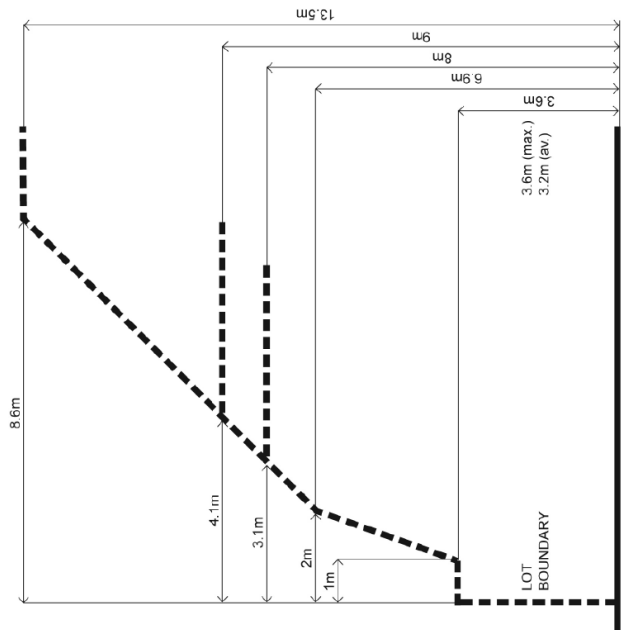
2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.03-10 Parking location objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B15</p>	<p>Car parking facilities should:</p> <ul style="list-style-type: none"> • Be reasonably close and convenient to dwellings and residential buildings. • Be secure. • Be well ventilated if enclosed. <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>Standard met</p> <p>Car parking facilities for each dwelling would be close and convenient for each dwelling. The garages of each dwelling would be secure and would be capable of being well ventilated.</p> <p>! Variation required / condition required</p> <p>The east facing kitchen window of Units 1 and 4 would be located less than 1m from the common accessway. The windows to the foyer areas of Units 2 and 3 which connects to the living rooms are also less than 1m from the common accessway. It is recommended that noise attenuation glass should be provided to these windows to limit vehicle noise from the common driveway to the windows.</p>
<p>Decision Guidelines</p>	<p>The design response.</p>	
<p>Objectives</p>	<p>To provide convenient parking for residents and visitors vehicles.</p> <p>To protect residents from vehicular noise within developments.</p>	<p>! Objective met subject to condition</p> <p>It is considered that the objective is met as the noise attenuation glass would limit noise from the driveway to these habitable room windows. In addition, these habitable room windows are to the kitchens and living rooms and not bedrooms. Thus, future residents would not be within the kitchens and living rooms late into the night. The minor variation to the setbacks of these windows is considered acceptable in this instance.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.04-1 Side and rear setbacks objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B17</p>	<p>A new building not on or within 200mm of a boundary should be setback from side or rear boundaries:</p> <ul style="list-style-type: none"> • At least the distance specified in a schedule to the zone, or • If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. <p>Diagram B1 Side and rear setbacks</p>  <p>The diagram illustrates a lot boundary with various setbacks. A dashed line represents the height-based setback profile. Key dimensions include: a 1m setback at the bottom right, a 2m setback, a 3.1m setback, a 4.1m setback, a 6.9m setback, an 8m setback, a 9m setback, and a 13.5m setback. A vertical dimension of 8.6m is shown on the left. A note indicates 'LOT BOUNDARY' and '3.6m (max.) 3.2m (av.)'.</p>	<p>Standard met</p> <p>The diagrams on the elevation plans show that the walls not on the boundaries would be setback in accordance with this standard.</p>
	<p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may</p>	<p>Standard met</p> <p>There are no encroachments more than 0.5m into the</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

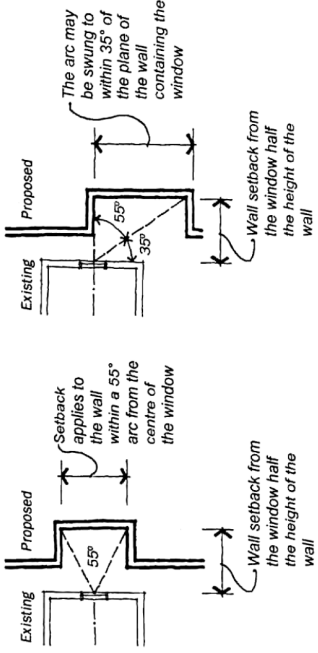
	encroach not more than 0.5 metres into the setbacks of this standard.	setback area.
	Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.	✓ Standard met There are no landings that encroach into the setback standard more than 2sqm and 1m high.
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	
	The design response.	
	The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.	
	Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.	
	Whether the wall abuts a side or rear lane.	
Objectives	To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	✓ Objective met

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.04-2 Walls on boundaries objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B18</p>	<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary.</p> <ul style="list-style-type: none"> • For a length of more than the distance specified in the schedule to the zone; or • If no distance is specified in a schedule to the zone, for a length of more than: <ul style="list-style-type: none"> - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or - Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>Standard met</p> <p>The garage of Unit 1 would be the only wall on the boundary. The maximum length of the wall proposed on the boundary is 4.035m, well below the permissible length of 10m plus 25% of the remaining length of the boundary.</p> <p>Standard met</p> <p>Standard met</p> <p>Standard met</p> <p>The height of the garage wall of Unit 1 on the western boundary has an average height of 3.1m.</p>
<p>Decision Guidelines</p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The extent to which walls on boundaries are part of the neighbourhood character.</p> <p>The impact on the amenity of existing dwellings.</p> <p>The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.</p> <p>The orientation of the boundary that the wall is being built on.</p> <p>The width of the lot.</p> <p>The extent to which the slope and retaining walls or fences reduce the effective height of the wall.</p> <p>Whether the wall abuts a side or rear lane.</p> <p>The need to increase the wall height to screen a box gutter.</p>	

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

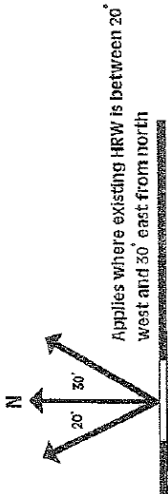
<p>Objectives</p>	<p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>✓ Objective met</p>
<p>Clause 55.04-3 Daylight to existing windows objective</p>		
<p>Standards</p>		
<p>Standard B19</p>	<p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p>	<p>Standard Met/Standard Not Met/NA ✓ Standard met Light courts of habitable room windows on the adjoining properties would not be impacted by the proposed development. ✓ Standard met Existing habitable room windows on adjoining properties would not be impacted by the proposal.</p>
<p>Walls or carpents more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p>		
<p>Diagram B2 Daylight to existing windows</p> 		
<p>Decision Guidelines</p>	<p>The design response. The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows. The impact on the amenity of existing dwellings.</p>	
<p>Objective</p>	<p>To allow adequate daylight into existing habitable room windows.</p>	<p>✓ Objective met</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.04-4 North-facing windows objective

Title & Objective	Standards	Standard Met/Standard Not Met/N/A
<p>Standard B20</p>	<p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.</p> <p>Diagram B3 North-facing windows</p> <p>Diagram B3 North-facing windows</p> <p>The diagram illustrates the setbacks for a north-facing habitable room window relative to a south boundary. The window axis is shown as a dashed line. The south boundary is a solid line. The setbacks from the window axis to the south boundary are 1m, 1.1m, 2m, 4.1m, 5.1m, and 9.5m. The setbacks from the window axis to the right boundary are 3.3m, 3.6m, 6.9m, 8m, and 9m. The total width of the lot is 13.5m. A 3m setback is shown from the left boundary to the window axis. A north-facing habitable room window is indicated by a hatched area.</p>	<p>N/A</p> <p>South of the site is a road.</p>
	<p>A north facing window is a window with an axis perpendicular to its surface orientated north 20 degrees west to north 30 degrees east.</p>	

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	 <p>Applies where existing HRW is between 20° west and 30° east from north</p>	
Decision Guidelines	<p>The design response. Existing sunlight to the north-facing habitable room window of the existing dwelling. The impact on the amenity of existing dwellings.</p>	
Objective	<p>To allow adequate solar access to existing north-facing habitable room windows.</p>	<p>✓ Objective met</p>

Clause 55.04-5 Overshadowing open space objective

Title & Objective	<p>Standards</p>	<p>Standard Met/Standard Not Met/NA</p>
Standard B21	<p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 Sept.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p>✓ Standard met To the south of the site is a road and to the west is the Springvale Park Special Development School. The proposed development would have a driveway located along the east boundary. The proposed dwellings would be located at least 4.13m from the east boundary and would not result in any shadow to the secluded private open space of the adjoining land to the east.</p> <p>✓ Standard met As above.</p>
Decision Guidelines	<p>The design response. The impact on the amenity of existing dwellings. Existing sunlight penetration to the secluded private open space of the existing dwelling. The time of day that sunlight will be available to the secluded private open space of the existing dwelling. The effect of a reduction in sunlight on the existing use of the existing secluded private open space.</p>	
Objective	<p>To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>✓ Objective met</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.04-6 Overlooking objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B22</p>	<p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>Diagram B4: Overlooking open space</p> <p>Diagram B4: Overlooking open space</p> <p>existing dwelling</p> <p>new dwelling</p> <p>existing dwelling</p> <p>new dwelling</p> <p>area to be screened or obscured</p> <p>area to be screened or obscured</p> <p>9m radius</p> <p>9m radius</p> <p>9.0m</p> <p>1.7m</p> <p>9.0m measured at ground level</p> <p>7.45m</p> <p>Line of sight above the FFL</p> <p>FFL</p>	<p>Standard Met/Standard Not Met/NA</p> <p>! Condition required</p> <p>The rear boundary fence is 2m high. The side boundary fences are only 1.7m high and not adequate to prevent overlooking. Free standing trellis extension to a minimum height of 1.8m should be provided to both side boundary fencing. This could be conditioned.</p> <p>The proposed internal boundary fencing should also be 1.8m high. This could be conditioned.</p> <p>All first floor east elevation windows would be either obscured glazed awning window or have sill height of 1.7m above finished first floor level. No screening would be provided to the first floor west elevations. The adjoining land to the west is occupied by the Springvale Park Special Developmental School which has three (3) storage sheds located adjacent to the subject site. The first floor habitable room windows of the proposed development would provide natural surveillance to the area to the rear of the sheds. This is acceptable as there would be no overlooking into any habitable room windows or private open spaces.</p> <p>Standard met</p> <p>As above.</p>
<p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> • Offset a minimum of 1.5 metres from the edge of one window to the edge of the other. • Have sill heights of at least 1.7 metres above floor level. 	<p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> • Offset a minimum of 1.5 metres from the edge of one window to the edge of the other. • Have sill heights of at least 1.7 metres above floor level. 	<p>Standard met</p> <p>As above.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<ul style="list-style-type: none"> • Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level. • Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. 	
	Obscure glazing in any part of the window below 1.7 metres above floor level may be operable provided that there are no direct views as specified in this standard.	✓ Standard met As above.
	Screens used to obscure a view should be:	N/A
	<ul style="list-style-type: none"> • Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. • Permanent, fixed and durable. • Designed and coloured to blend in with the development. 	
	The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.	✓ Standard met As above.
Decision Guidelines	The design response. The impact on the amenity of the secluded private open space or habitable room window. The existing extent of overlooking into the secluded private open space and habitable room window of existing dwellings. The internal daylight to and amenity of the proposed dwelling or residential building.	
Objective	To limit views into existing secluded private open space and habitable room windows.	! Objective met subject to condition

Clause 55.04-7 Internal views objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B23	Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development. The design response.	✓ Standard met There would be no internal overlooking.
Decision Guidelines	To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.	✓ Objective met

Clause 55.04-8 Noise impacts objectives

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B24	Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take into account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	Standard met No noise sources apparent. Standard met No noise sources apparent. Standard met The site does not adjoin busy roads, railway lines or industry.
Decision Guidelines	The design response.	
Objectives	To contain noise sources within development that may affect existing dwellings. To protect residents from external noise.	Objective met

Clause 55.05-1 Accessibility objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B25	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	Standard met The floor levels proposed are not excessively high and could be accessible to people with limited mobility.
Objective	To encourage the consideration of the needs of people with limited mobility in the design of developments.	Objective met

Clause 55.05-2 Dwelling entry objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B26	Entries to dwellings and residential buildings should: <ul style="list-style-type: none"> • Be visible and easily identifiable from streets and other public areas. • Provide shelter, a sense of personal address and a transitional space around the entry. 	Standard met The entrance to each dwelling is provided with an entry point to provide a sense of address and can be identified from the street or the internal accessway.
Objective	To provide each dwelling or residential building with its own sense of identity.	Objective met

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.05-3 Daylight to new windows objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B27	<p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or A verandah provided it is open for at least on third of its perimeter, or A carport provided it has two or more open sides and is open for at least on third of its perimeter. 	<p>Standard met</p> <p>Each habitable room window would face an outdoor space.</p>
Decision Guidelines	<p>The design response.</p> <p>Whether there are other windows in the habitable room which have access to daylight.</p>	
Objective	<p>To allow adequate daylight into new habitable room windows.</p>	<p>Objective met</p>

Clause 55.05-4 Private open space objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA																				
Standard B28	<p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p>GRZ3:</p> <p><i>An area of 40 square metres of ground level, private open space, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 25 square metres, and a minimum dimension of 3 metres and convenient access from a living room; or</i></p> <p><i>A balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; or</i></p> <p><i>A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.</i></p>	<p>Standard Met/Standard Not Met/NA</p> <p>! Variation required</p> <p>The areas of private open spaces for the dwellings are as follow (in square metres):</p> <table border="1"> <thead> <tr> <th></th> <th>Ground floor private open space (sqm)</th> <th>Ground floor secluded private open space (sqm)</th> <th>Total (sqm)</th> </tr> </thead> <tbody> <tr> <td>Unit 1</td> <td>64</td> <td>25</td> <td>89</td> </tr> <tr> <td>Unit 2</td> <td>N/A</td> <td>41</td> <td>41</td> </tr> <tr> <td>Unit 3</td> <td>N/A</td> <td>41</td> <td>41</td> </tr> <tr> <td>Unit 4</td> <td>N/A</td> <td>58</td> <td>58</td> </tr> </tbody> </table> <p>Each dwelling would be provided with a minimum of 40sqm of private open space with one part comprising secluded private open space with a minimum area of 25sqm and a minimum dimension of 3m.</p> <p>The prime secluded private open space of Unit 1 would protrude into the front setback area by 1m. The minor protrusion is considered acceptable having considered that the site is at the end of a court located adjacent to a Public Use Zone 2 and that a canopy tree would be provided to the front of the prime secluded private open space to screen it from the street.</p>		Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)	Unit 1	64	25	89	Unit 2	N/A	41	41	Unit 3	N/A	41	41	Unit 4	N/A	58	58
	Ground floor private open space (sqm)	Ground floor secluded private open space (sqm)	Total (sqm)																			
Unit 1	64	25	89																			
Unit 2	N/A	41	41																			
Unit 3	N/A	41	41																			
Unit 4	N/A	58	58																			

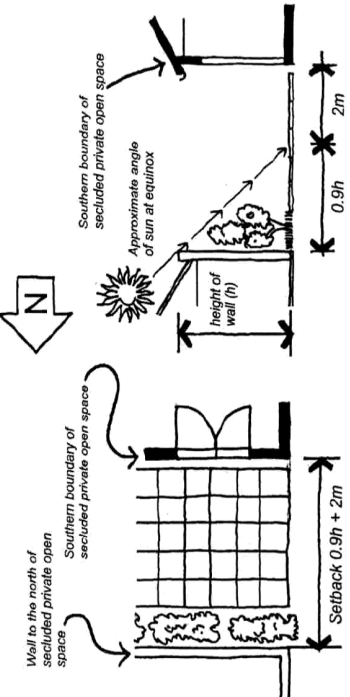
2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development.</p>	<p>N/A</p>
<p>Decision Guidelines</p>	<p>The design response.</p> <p>The useability of the private open space, including its size and accessibility.</p> <p>The availability of and access to public or communal open space.</p> <p>The orientation of the lot to the street and the sun.</p>	
<p>Objective</p>	<p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p>✓ Objective met</p>

Clause 55.05-5 Solar access to open space objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p>Standard B29</p>	<p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p>	<p>✓ Standard met</p> <p>The primary secluded private open space of Unit 4 would be to the north. For Units 1 to 3, the primary secluded private open spaces would be to the west of the dwellings. This is considered acceptable considering the orientation of the site.</p>

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

	<p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</p> <p>Diagram B5 Solar access to open space</p> 	<p>Variation required</p> <p>The primary secluded private open spaces of the Units 1 and 3 would be located to the south of a wall.</p> <p>The secluded private open spaces would require to be setback the following distance from the walls to the north:</p> <p>Required setback from ground floor wall $2 + 0.9 \times 3.1 = 4.79\text{m}$</p> <p>Required setback from first floor wall $2 + 0.9 \times 6.5 = 7.85\text{m}$</p> <p>The prime secluded private open space of Unit 1 would be setback 6.55m from the ground floor and first floor walls to the north. The setback from the ground floor wall complies. The setback from the first floor wall to the north requires a variation of 1.3m. The minor variation is considered acceptable considering that Unit 1 has a large front yard of 64sqm and that the first floor wall to the north of the prime secluded private open space area being Bedroom 3 of Unit 1, would be located only partially to the north of the prime secluded private open space of Unit 1.</p> <p>The prime secluded private open space of Unit 3 would be setback 10m from the ground floor and first floor walls to the north and complies.</p>
<p>Decision Guidelines</p>	<p>The design response.</p> <p>The useability and amenity of the secluded private open space based on the sunlight it will receive.</p>	
<p>Objective</p>	<p>To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>	<p>✓ Objective met</p>

Clause 55.05-6 Storage objective

<p>Title & Objective</p>	<p>Standards</p>
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Standard Met/Standard Not Met/N/A

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Standard B30	Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	✓ Standard met Each dwelling provided with a minimum 6 cubic metres of external storage in the form of a storage shed or a storage area under the stairway accessible from the garage.
Objective	To provide adequate storage facilities for each dwelling.	✓ Objective met

Clause 55.06-1 Design detail objective

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B31	<p>The design of buildings, including:</p> <ul style="list-style-type: none"> • Façade articulation and detailing, • Window and door proportions, • Roof form, and • Verandahs, eaves and parapets, <p>should respect the existing or preferred neighbourhood character.</p> <p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p>Standard Met</p> <p>The proposed front setback, external materials and roof form is consistent with the existing and preferred character of the area.</p>
Decision Guidelines	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting.</p> <p>Whether the design is innovative and of a high architectural standard.</p>	<p>✓ Standard met</p> <p>The garages would be to the rear of Unit 1 and hidden from the street.</p>
Objective	To encourage design detail that respects the existing or preferred neighbourhood character.	✓ Objective met

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177)
 (Cont.)

Clause 55.06-2 Front fences objective		Standard Met/Standard Not Met/NA						
Title & Objective	Standards							
Standard B32	<p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> The maximum height specified in a schedule to the zone, or <p>All schedules to all residential zones:</p> <p>"Maximum 1.5 metre height in streets in a Transport 2 Zone 1.2 metre maximum height for other streets"</p> <ul style="list-style-type: none"> If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. <p>Table B3 Maximum front fence height</p> <table border="1"> <thead> <tr> <th>Street Context</th> <th>Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td>Streets in a Transport Zone 2</td> <td>2 metres</td> </tr> <tr> <td>Other streets</td> <td>1.5 metres</td> </tr> </tbody> </table>	Street Context	Maximum front fence height	Streets in a Transport Zone 2	2 metres	Other streets	1.5 metres	<p>✓ Standard met No front fence is proposed.</p> <p>✓ Standard met No front fence is proposed.</p>
Street Context	Maximum front fence height							
Streets in a Transport Zone 2	2 metres							
Other streets	1.5 metres							
Decision Guidelines	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The setback, height and appearance of front fences on adjacent properties.</p> <p>The extent to which slope and retaining walls reduce the effective height of the front fence.</p> <p>Whether the fence is needed to minimise noise intrusion.</p>							
Objective	To encourage front fence design that respects the existing or preferred neighbourhood character.	✓ Objective met						

2.2.2 Town Planning Application - No. 15 Maple Street, Springvale (Planning Application No. PLN21/0177) (Cont.)

Clause 55.06-3 Common property objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B33	Developments should clearly delineate public, communal and private areas.	✓ Standard met Appropriate fencing has been including to delineate private areas.
Objectives	Common property, where provided, should be functional and capable of efficient management. To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership.	✓ Standard met The driveway would form common property if the land is to be subdivided. This area would be functional and capable of efficient management. ✓ Objective met

Clause 55.06-4 Site services objectives

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B34	The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.	✓ Standard met Adequate space has been allocated for services.
	Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.	✓ Standard met Mailboxes for the development provided to front of site. Each unit provided with bin area and communal meter boxes provided.
	Bin and recycling enclosures should be located for convenient access by residents.	✓ Standard met Rubbish and recycling bins located within POS area of each unit.
	Mailboxes should be provided and located for convenient access as required by Australia Post.	✓ Standard met Mailboxes provided.
Decision Guidelines	The design response.	
Objectives	To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.	✓ Objective met

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619)

File Id:	425745
Responsible Officer:	Director City Planning Design & Amenity
Attachments:	Assessed Plans and Alcohol Management Plan Original permit and endorsed plans

Application Summary

Applicant:	PAJ Liquor Licensing
Proposal:	Amendment to: Development and use of the site for the purposes of a Place of Assembly with an on-premises licence and display of business identification signage. The amendment seeks to: <ul style="list-style-type: none">- Alter the permit conditions and endorsed plans to allow an increase in hours of operation, increase in patron numbers, increase in red line area and alter layout of the premises.- Alter the permit preamble to include a reduction in car parking requirements.
Zone:	Commercial 1 Zone
Overlay:	Design and Development Overlay Schedule 6
Ward:	Springvale Central

This application is brought before the Council as all applications for a liquor licence (where not associated with a food and drink premises) must be determined at a Council meeting.

The application proposes to amend an existing planning permit.

Planning permit PLN16/0567 allows for development and use of the site for the purposes of a Place of Assembly with an on-premises licence and display of business identification signage. A permit was required pursuant to:

Clause 34.01-1 (Commercial 1 Zone) to use land for the purpose of a Place of Assembly.

Clause 34.01-4 (Commercial 1 Zone) to construct building and works.

Clause 52.27 (Licensed Premises) to use land to sell or consume liquor.

Clause 52.05 (Advertising Signs) and Clause 43.02 (Schedule 6 to the Design and Development Overlay) to display business identification signs exceeding 8 square metres and for the display of an above-verandah sign.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

The applicant is now proposing to amend the permit preamble to allow a reduction in car parking, amend the permit conditions and the endorsed plans to increase the hours of operation, increase patron numbers, amend the layout of the premises and increase the red line area.

Objectors Summary

The application was advertised to the surrounding area through the erection of a notice on-site notices and the mailing of notices to adjoining and surrounding owners and occupiers. Zero (0) objections were received to the application.

Assessment Summary

The proposed amendments are not considered to result in adverse amenity impacts on the surrounding area, subject to conditions to ensure that the use is appropriately controlled and maintained.

Recommendation Summary

As assessed, officers consider this proposal to be highly compliant with all of the relevant provisions of the Greater Dandenong Planning Scheme, subject to conditions. The proposal's degree of compliance with the Planning Scheme justifies that the application should be supported. Therefore, it is recommended that an Amended Permit be issued subject to the conditions as set out in the recommendation.

If the application was to be appealed to VCAT, it is the officer's view that it is highly likely that VCAT would also issue a planning permit for this proposal.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

Subject Site and Surrounds

Subject Site

The subject site is located on the north side of Balmoral Avenue, approximately 50m west of the intersection with Springvale Road. The site has a frontage of 20.12m, a depth of 25.6m and a site area of 515 square metres.

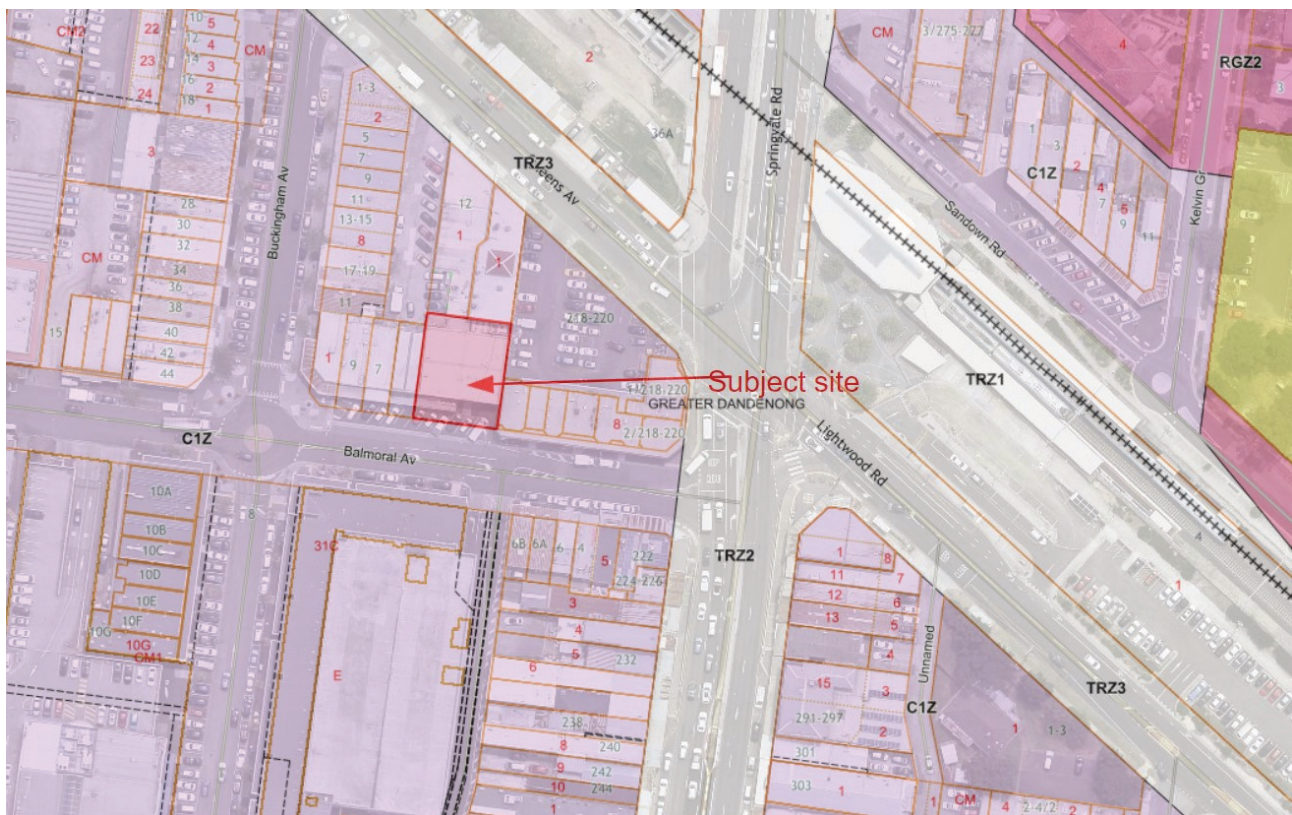
The site contains a double-storey building constructed in 1967. The building is setback approximately 6.5m from the front boundary. There are 6 on-street car parking spaces which partly protrude into the site boundary. A footpath is located between the on-street car parking and the existing building.

The ground level of the existing building contains two (2) shops with one shop occupied by a butcher shop and the other shop is occupied by a restaurant. The first floor is currently used as a Karaoke Bar. Pedestrian access to the first floor is via a stairway from Balmoral Avenue.

Surrounding Area

The site is located in the Springvale Activity Centre core and is surrounded by retail premises, offices and food and drink premises to the north, east and west. Opposite the site is a multi-storey mixed used development comprising retail uses on the ground level, and residential development on the first and second floor.

Locality Plan



2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

Background

Previous Applications

A search of Council records revealed that Council has previously considered the following planning applications for the site:

- Planning Permit No. PLN10/0630 was issued on 4 March 2011 to use the First Floor Suite 1-2/1-3 Balmoral Avenue for the purpose of a Restricted Recreation Facility (Gymnasium).
- Planning Permit No. PLN16/0567 was issued on 13 September 2017 for development and use of the site for the purposes of a Place of Assembly with an on-premises licence and display of business identification signage.

Proposal

The application proposes to amend the permit (PLN16/0567) to:

- Amend Condition 7 and 8 to increase the hours of operation;
- Amend Condition 10 to increase the patron numbers from a maximum thirty six (36) patrons to one hundred and ten (110) patrons,
- Amend and increase the existing redline plan;
- Amend the endorsed plans by internally rearranging the layout of the building; and
- Allow for a reduction in car parking requirements.

A full outline of the proposed amendments is detailed below:

Condition 7

Condition 7 on the permit currently reads as follows:

The use, may operate only between the following hours:

- *Sunday to Thursday: 9am to 11pm*
- *Friday and Saturday: 9am to 12midnight*

Unless with the further written consent of the Responsible Authority.

Condition 7 is proposed to read as follows:

The use, may operate only between the following hours:

- *Sunday to Thursday: 6pm to 1am the following day*
- *Friday and Saturday: 6pm to 1am the following day*

Unless with the further written consent of the Responsible Authority.

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Condition 8

Condition 8 on the permit currently reads as follows:

The only Liquor Licence which may be applied for shall be an On-Premises Licence and the times for the consumption of alcohol shall be restricted to the following hours:

- *Sunday to Thursday: 6pm to 11pm*
- *Friday and Saturday: 6pm to 12midnight*

Unless with the further written consent of the Responsible Authority.

Condition 8 is proposed to read as follows:

The only Liquor Licence which may be applied for shall be an On-Premises Licence and the times for the consumption of alcohol shall be restricted to the following hours:

- *Sunday to Thursday: 6pm to 1am the following day*
- *Friday and Saturday: 6pm to 1am the following day*

Unless with the further written consent of the Responsible Authority.

Condition 10

Condition 10 on the permit currently reads as follows:

Without the written permission of the Responsible Authority, no more than thirty-six (36) patrons shall be permitted on the site at any time.

Condition 10 is proposed to read as follows:

Without the written permission of the Responsible Authority, no more than one hundred and ten (110) patrons shall be permitted on the site at any time.

Endorsed plans/red line plan

The internal layout of the premises is proposed to be amended to delete the storerooms and staff room and include 4 karaoke rooms.

The red line area is proposed to be extended to include the 4 karaoke rooms.

A new Alcohol Management Plan has been submitted to address safety, amenity, health and wellbeing through management of alcohol provision

Preamble/Car parking reduction

Pursuant to Clause 52.06 of the Greater Dandenong Planning Scheme, the use of the land for a Place of Assembly requires 0.3 car parking spaces per patron. Therefore, the proposal for 110 patrons requires 33 car parking spaces. No car parking spaces are provided on the site (with the exception

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

of the 6 on street spaces along Balmoral Avenue which partly protrude into the subject site). Therefore, the application proposes a reduction of 33 car parking spaces. It is proposed to amend the permit preamble to allow for a full reduction in car parking.

A copy of the submitted plans is included as Attachment 1.

Victorian Charter of Human Rights and Responsibilities

All matters relevant to the Victorian Human Rights Charter have been considered in the preparation of this report and are consistent with the standards set by the Charter.

Financial Implications

No financial resources are impacted by this report.

Planning Scheme and Policy Frameworks

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required:

- Clause 34.01-1 (Commercial 1 Zone) to use land for the purpose of a Place of Assembly.
- Clause 34.01-4 (Commercial 1 Zone) to construct building and works.
- Clause 52.27 (Licensed Premises) to use land to sell or consume liquor.
- Clause 52.05 (Advertising Signs) to display business identification signs exceeding 8 square metres and for the display of an above-verandah sign.
- Clause 52.06-3 (Car parking) to reduce the number of car parking spaces required under Clause 52.06-5.

The relevant controls and policies are as follows:

Zoning Controls

The subject site is located in a Commercial 1 Zone, as is the surrounding land on all four (4) sides.

The purposes of the Commercial 1 Zone outlined at Clause 34.01 are:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
- *To provide for residential uses at densities complementary to the role and scale of the commercial centre.*

Pursuant to the Table to Clause 34.01-1, a permit is required to use land for the purpose of a Place of Assembly.

Pursuant to Clause 34.01-4, a permit is required to construct building or works.

The decision guidelines are at Clause 34.01-8.

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Pursuant to Clause 34.01-9, advertising sign requirements are at Clause 52.05. This zone is in Category 1.

Overlay Controls

The site is affected by the Design and Development Overlay – Schedule 6 and Parking Overlay – Schedule 1.

Clause 43.02 - Design and Development Overlay Schedule 6

The purposes of the Design and Development Overlay are:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify areas which are affected by specific requirements relating to the design and built form of new development.*

Design Objections from Schedule 6 to the Design and Development Overlay are:

- *To implement the Springvale Activity Centre Structure Plan (2017) and the Springvale Activity Centre Building Heights and Setbacks Study (2016) to maintain and create a strong and distinct image of the Springvale Major Activity Centre.*
- *To encourage higher density development, whilst maintaining the fine grain rhythm at street level, and achieve a transition down in scale to reduce amenity impacts to the surrounding established residential areas.*
- *To ensure the height and setbacks of development delivers a high quality public realm which maintains sunlight and comfortable wind conditions.*
- *To encourage high quality buildings and ensure building separation and setbacks achieve high levels of external and internal amenity for occupants, visitors and the general public which may require consolidation of sites.*
- *To enhance the amenity and appearance of the industrial area (Precinct 11).*

Clause 45.09 - Parking Overlay

The purposes of the Parking Overlay are:

- *To implement the State Planning Policy Framework and Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To facilitate an appropriate provision of car parking spaces in an area.*
- *To identify areas and uses where local car parking rates apply.*
- *To identify areas where financial contributions are to be made for the provision of shared car parking.*

Under part 2 of Schedule 1 to the Parking Overlay, a permit cannot be granted to reduce or waive the car parking requirement for the uses specified in part 3.0 of this schedule unless car parking entitlements or credits exist.

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Part 4.0 contains the financial contribution requirement which states:

A cash contribution of \$19,000 (excl. GST and current as at July 2010, will be indexed annually in accordance with Consumer Price Index, Melbourne, in Rawlinsons Australian Construction Handbook) in respect of each car parking space or part thereof which is required under this Scheme and which is not provided onsite (but net of car parking entitlements and credits) must be paid to the responsible authority.

Until Council is paid the cash contribution specified in this schedule and/or an agreement has, or agreements have, been made under Section 173 of the Act guaranteeing future payments of cash contributions for 80 parking spaces in the Balmoral Avenue car park, any permit for:

- The use of land for Shop, Office, Industry or Dwelling, as per part 2.0 of this Schedule;
- The expansion of floor area of any use, which results in more leasable floor space;
- The development of any land for a use in Section 1 or 2 of the Business 1 (B1Z) or Business 5 (B5Z) zones.

Must contain a condition to the following effect:

Prior to the commencement of the use or development allowed under this permit a payment of \$19,000.00 excl. GST (indexed annually by applying the Building Price Index, Melbourne, in Rawlinsons Australian Construction Handbook), must be paid to the responsible authority in respect of each car parking space required under the Scheme, but which is not provided on the land (net of car spaces provided and parking entitlements and credits) to which the application relates.

Or alternatively:

Prior to the commencement of the use or development allowed under this permit, the owner of the land must enter into an agreement under section 173 of the Planning and Environment Act 1987 in which the owner agrees to pay a contribution of \$19,000.00 excluding GST (subject to indexation according to the Scheme) in respect of each car parking space which is required under this Scheme, but which is not provided on the land (net of car spaces provided and parking entitlements and credits) to which the application relates.

The agreement may provide for the payment of the contribution in instalments, plus an interest component equivalent to the interest payable on unpaid rates and charges under the Local Government Act 1989 and it must provide that all instalments and accrued interest paid within 3 years of the first instalment.

The proposed use is not a Shop, Office, Industry or Dwelling nor would the proposed development result in more leasable floor space. Therefore, a cash contribution is not relevant to this application.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

State Planning Policy Framework

The **Operation of the State Planning Policy Framework** outlined at Clause 10 seeks to ensure that the objectives of planning in Victoria are fostered through appropriate land use and development planning policies and practices which integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development. The objectives of Planning in Victoria are noted as:

- (a) To provide for the fair, orderly, economic and sustainable use, and development of land.*
- (b) To provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity.*
- (c) To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.*
- (d) To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.*
- (e) To protect public utilities and other facilities for the benefit of the community.*
- (f) To facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e).*
- (g) To balance the present and future interests of all Victorians.*

In order to achieve those objectives, there are a number of more specific objectives contained within the State Planning Policy Framework that need to be considered under this application.

Clause 11 - Settlement

Clause 11 states that planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Clause 13.05-1S- Noise abatement

Clause 13.05-1S seeks to assist the control of noise effects on sensitive land uses. The policy documents include Environment Protection Regulations under the Environment Protection Act 2017 and Noise Limit and Assessment Protocol for the Control of Noise from Commercial, Industrial and Trade Premises and Entertainment Venues (Publication 1826.2, Environment Protection Authority, March 2021).

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Clause 17 – Economic Development

Under this Clause, it notes that planning is to provide for a strong and innovative economy, where all sectors of the economy are critical to economic prosperity, and planning is to contribute to the economic well-being of communities and the State as a whole by supporting and fostering economic growth and development by providing land, facilitating decisions, and resolving land use conflicts so that each district may build on its strengths and achieve its economic potential.

Clause 17.01-1 (Business) has the objective to encourage development which meet's the community's needs for retail, entertainment, office and other commercial services and provides net community benefit in relation to accessibility, efficient infrastructure use and the aggregation and sustainability of commercial facilities.

The matter of Transport is considered at Clause 18, with Integrated Transport focused on under Clause 18.01. A relevant objective of that Clause which needs to be considered under this application includes that listed at Clause 18.01-1 relating to Land Use and Transport Planning, with that objective:

To create a safe and sustainable transport system by integrating land-use and transport.

Local Planning Policy Framework

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies.

The MSS is contained within Clause 21 of the Scheme. The MSS at **Clause 21.02** focuses on the **Municipal Profile**, within which the following is noted:

Clause 21.04-2 Retail, Commerce and Entertainment

Environmental issues – The easy accessibility by train and other modes of public and private transport to the retail and commercial centres of central Dandenong, Springvale and Noble Park helps achieve environmental sustainability. This needs to be maintained and improved by providing facilities and services accessible by bicycle and walking.

Economic issues – Greater Dandenong's retail, commercial, industrial and entertainment uses provide a range of jobs. Strengthening these assets will attract visitors from outside the municipality and improve employment opportunities. With suitable promotion, they could realise increased economic benefits for the City.

The Springvale Activity Centre is a popular and vibrant multicultural retail and business centre in Melbourne's south east. It is one of four major retail precincts in the City of Greater Dandenong.

Supporting higher density residential at upper levels of buildings and the location of office and commercial activities in activity centres will improve the economic viability and sustainability of those centres.

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Social issues – Local retail centres can act as a focus for local communities helping strengthen local connections. Entertainment and associated uses are important in maintaining local cultural vitality but need to be managed to avoid late night disturbances to surrounding residents, and inadequate provision of car parking.

The following objectives and strategies are relevant:

2. To reinforce and develop the role, character and identity of activity centres outside of Central Dandenong

2.1 Focus major new retail activities to Springvale, Parkmore and Noble Park – the major activity centres and in neighbourhood centres located throughout the municipality.

2.2 Encourage additional retail diversity that complements the core retail function.

2.3 Reinforce Springvale Activity Centre as a vibrant multicultural focal point in the region.

2.4 Encourage pedestrian activity and ground floor uses with active frontages.

2.5. Encourage businesses and activities that increase opportunities for social interaction and recreation.

4. To encourage a mix of complimentary land uses that increase an activity centre's commercial variety without compromising its core commercial strengths.

4.1. Support and promote complimentary land uses that enhance variety without compromising core commercial strengths

5. To enhance and embrace the multi-cultural identity of the municipality, where relevant, primarily as reflected in the city's built form, signage and urban design.

5.1 Support the promotion of multi-cultural identity as reflected in the city's built form.

6. To encourage greater visitation to the activity centres.

6.1 Support activities and festivals that promote greater visitation to activity centres

7. To create positive social, cultural and economic perceptions of activity centres.

7.1 Support activities and festivals that promote greater visitation to activity centres

Under **Clause 21.07 – Infrastructure and Transportation** matters of: physical, community and cultural infrastructure; public transport; walking and cycling; cars and parking; and, transport services are covered.

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Within Clause 21.07-2 where the matter of public transport is considered, the following relevant objective and strategies are noted:

2. To integrate transport and land use.

2.1 Ensure residential, commercial and industrial development provides for safe and accessible pedestrian/bicycle movement to the public transport network.

The objectives and strategies of Clause 21.07-3 which relate to the matter of walking and cycling should also be considered.

Clause 22.10- Springvale Major Activity Centre

This policy sets out land use and economic activity policy for the Springvale Activity Centre including (but not limited to) the following;

- *Reinforce the Activity Centre's role in encouraging a diverse mix of land uses that include retail, commercial, industrial and residential.*
- *Support future investment and encourage the development of strategic sites as identified in the Structure Plan to achieve a mix of residential and commercial uses.*
- *Support the retention of existing industrial and commercial areas for employment growth and the local economy.*
- ***Encourage and promote the night-time economy of the Activity Centre.***

Improve awareness and perceptions of the Activity Centre as a tourism destination and support Council and community festivals and events.

Encourage retail diversity that compliments the core retail function and minimise office uses at ground level.

Clause 22.11 – Advertising Signs Policy

Clause 22.11 – Advertising Signs Policy sets out the local expectations for signage within this municipality.

The objectives of this policy are:

- *To ensure that signs are designed, positioned and displayed in an appropriate and attractive manner.*
- *To encourage signs that make a positive contribution to both the day and night time character of activity centres.*
- *To improve the appearance of City gateways through the effective, sensitive display of signs and the avoidance of proliferation of signs and visual clutter.*

There is a number of more specific design outcomes sought under this policy. An assessment against these outcomes is provided at Tables at the end of this report.

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Particular Provisions

Clause 52.05 – Advertising Signs

The purpose of Clause 52.05 – Advertising Signs is:

- *To regulate the display of signs and associated structures.*
- *To provide for signs that are compatible with the amenity and visual appearance of an area, including the existing or desired future character.*
- *To ensure signs do not contribute to excessive visual clutter or visual disorder.*
- *To ensure that signs do not cause loss of amenity or adversely affect the natural or built environment or the safety, appearance or efficiency of a road.*

Pursuant to Clause 52.05-8, a permit is required to display business identification signs exceeding 8 square metres or to display an above-verandah sign.

Clause 52.06 – Car Parking needs to be considered. The purposes of this provision are:

- *To ensure that car parking is provided in accordance with the State Planning Policy Framework and Local Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

Clause 52.06-1 notes that a new use must not commence or the floor area of an existing use must not be increased until the required car spaces have been provided on the land.

The required spaces are identified in the table to Clause 52.06-5. Clause 52.06-3 further notes that a permit may be granted to reduce or waive the number of car spaces required by the table, with the decision guidelines for such considerations also at that Clause.

The table at Clause 52.06-5 notes that a Place of Assembly 0.3 car parking spaces to each patron permitted.

Clause 52.27 – Licensed Premises

The purposes of this provision are:

- *To ensure that licensed premises are situated in appropriate locations.*
- *To ensure that the impact of the licensed premises on the amenity of the surrounding area is considered.*

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These provisions apply to premises licensed, or to be licensed, under the Liquor Control Reform Act 1998.

A permit is required to use land to sell or consume liquor if any of the following apply:

- A licence is required under the Liquor Control Reform Act 1998.

Clause 52.34 - Bicycle Facility

The purpose of this Clause is:

- *To encourage cycling as a mode of transport.*
- *To provide secure, accessible and convenient bicycle parking spaces and associated shower and change facilities.*

Clause 52.34-1 states that a new use must not commence or the floor area of an existing use must not be increased until the required bicycle facilities and associated signage has been provided on the land.

Under Clause 52.34-2 states that a permit may be granted to vary, reduce or waive the requirements of Clause 52.34-3 and Clause 52.34-4. An application is exempt from the notice and decision requirements and appeal rights of some sections of the Act.

Under the table to Clause 52.34-3, a Place of Assembly requires 1 bicycle space to each 1500 square metres of net floor area and 2 plus 1 to each 1500 square metres of net floor area

As the area of the first floor is only 320 square metres, a bicycle space is not required.

General Provisions

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

Proposed Planning Scheme Amendments

There is no Planning Scheme Amendment relevant to this application.

Restrictive Covenants

The applicant has provided information to demonstrate that there are no restrictive covenants or restrictions restricting or prohibiting the proposal.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

Community Vision 2040 and Council Plan 2021-25 – Strategic Objectives, Strategies and Plans

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

Diversity (Access & Equity)

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

Community Safety

It is considered that there would be no adverse community safety implications in permitting the proposal subject to strict conditions on any planning permit issued.

Safe Design Guidelines

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

Referrals

The application was externally referred to the following for their consideration (summarised):

External Authority	Response
Victoria Police (S52 comment)	No objection, no conditions
VCGLR (S52 comment non-mandatory referral)	No comment

Internal

The application was internally referred to the following Council Units for their consideration (summarised):

Council Referrals	Response
Transport Planning	No objection, no conditions
Building Department	No objection, no conditions
Community Services	No objection, subject to conditions

Advertising

The application has been advertised pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the owners and occupiers of adjoining land.
- Placing a sign on site facing Balmoral Avenue.

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The notification has been carried out correctly.

Council has received zero (0) objections to date.

Consultation

A consultative meeting was not held as no objections were received, and the proposal does not relate to residential development.

Assessment

The proposed amendments have been assessed against the relevant provisions of the Greater Dandenong Planning Scheme, including the purpose and intent of the Commercial 1 Zone, the Planning Policy Framework, Local Planning Policy Framework and the particular provisions for car parking and liquor licencing.

Council officers find that the proposed amendment is acceptable and would not result in any further impact to the amenity of adjoining or surrounding land.

An assessment of the proposed amendments is provided below:

Assessment of increase in patron number on the provision of car parking.

The proposal is to increase patron numbers and subsequently include a reduction of car parking in the permit preamble.

The original permit issued allowed 36 patrons. At the time, this required 10 spaces under the requirements of the Planning Scheme but did not require a permit for a reduction in car parking given it was less than the existing 12 space dispensation for the site, stemming from its construction as a shop in the 1960s with no on site car parking spaces.

The current proposal for 110 patrons requires 33 car parking spaces. No car parking spaces are provided on the site (with the exception of the 6 public on street car spaces along Balmoral Avenue which partly protrude into the subject site). Therefore, the application proposes a full reduction of the required 33 car parking spaces.

The reduction in car parking is considered appropriate for the following reasons:

The site is located in close proximity to a number of public transport options, including the Springvale Train Station (within 100 metres), bus routes and taxi pick up points.

- The site is located within the Springvale Activity Centre where there is a varied demand of car parking spaces over time. Many shops within the Activity Centre close at 5pm and the application proposes an opening time of 6pm.
- There are in-excess of 175 on-street car parking spaces within easy walking distance of the site, with traffic surveys showing that many of these are available in the evenings when this use operates.

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- The applicant has provided an empirical assessment for a similar business, where it was found that only 20% of patrons attending the site generated a car parking demand.
- It is likely that patrons of the Karaoke bar would make multi-purpose trips within the Springvale Activity Centre, as the site is in close proximity to a number of restaurants and other entertainment venues.
- The site is in close proximity to the Djerring Trail, a major cycling route connecting Dandenong through to Caulfield.
- There is a public multideck car park within close proximity (50 metres) to the subject site.

The application was also referred to Council's Transport Department, who had no objection to the full reduction in carparking due to the location of the use within the commercial core of Springvale.

Assessment of the amendments to the layout of the building.

The amendments to the layout of the building (deletion of the storerooms and construction of 4 new Karaoke rooms) do not require a planning permit and as such are inconsequential. No changes are proposed to the exterior of the building.

Assessment of increase in hours, increase in patron numbers and increase in red line area in relation to the liquor licence impact on the amenity of the area.

The site is within the Springvale Activity Centre, where night-time activities are encouraged by local policy. The increase in patron numbers and increase in hours of operation will support the use of the land for night time activities by ensuring the ongoing viability for the business. It is noted that the site is immediately adjacent to residential apartments above ground floor level on the southern side of Balmoral Avenue, therefore the impact of noise on the amenity of the area must be considered.

Condition 3 on permit PLN16/0567 requires the submission of an acoustic report, prepared by a suitably qualified acoustic engineer, to ensure the use operates in accordance with relevant State Environment Protection Policies. Whilst the applicant has submitted a letter from an acoustic consultant outlining that the proposed additional karaoke rooms are to be constructed with appropriate acoustic insulation to ensure that the additional rooms do not add to the noise emitted from the existing Karaoke operation the letter is not considered to meet the requirements of Condition 3.

In addition, since planning permit PLN16/0567 was issued, there have been a number of changes to the Environment Protection Act. Under the new legislation, noise levels must not exceed the permissible noise levels stipulated in the Environment Protection Regulations 2021 for Residential Premises, Commercial, Industrial and Trade Premises and Entertainment Venues and Outdoor Entertainment Events.

Therefore, it is considered appropriate to amend those permit conditions referring to the Acoustic Report and outdated legislation. This includes Condition 3.3 and Condition 13. In order for Council officers to be satisfied that the amended reports are to Council's satisfaction Condition 3 can also be amended to require the acoustic report to be submitted prior to endorsement of plans under this amended permit. This is to ensure that the proposed internal alterations, increase in patron numbers and increase in hours of operation meet relevant and current state regulations for permissible noise levels in entertainment venues.

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Overall, it is considered that the implementation of the Acoustic Report required by Condition 3 would be sufficient to ensure the proposed amendments do not unreasonably impact on the amenity of the area through noise.

The applicant has also provided an Alcohol Management Plan to enhance safety, amenity, health and wellbeing through management of alcohol provision and seeks to ensure activities within the venue do not cause excessive/unreasonable disturbance to neighbouring properties with regards to noise, light and/or unruly behaviour. It is noted that the Alcohol Management Plan contains some errors, conflicting information and references to outdated legislation. Therefore, Condition 1 can be amended to require submission of an amended Alcohol Management Plan to be submitted prior to the endorsement of the plans to ensure service of Alcohol is appropriately managed.

In accordance with DPCP Practice Note 61 "Licenced Premises: Assessment Cumulative Impact", a cumulative impact assessment is required if both the clustering and hours of operation tests are met, specifically, if the premises trades after 11pm, and in an area where there is a 'cluster' of licenced premises.

As defined within DPCP Practice Note 61, a 'cluster' occurs where there are:

- Three or more licensed premises (including the proposed premises) within a radius of 100 metres from the subject land; or
- 15 or more licensed premises (including the proposed premises) within a radius of 500 metres from the subject land.

There is a cluster of liquor licensed venues within 500m of the proposed venue with numerous BYO licenced premises, packaged liquor premises and restaurants/cafes with on premise licences.

Nine of these venues classified as high-risk, ie, either late-night trading beyond 11pm and 1am, and packaged liquor outlets.

The following is an assessment in considering the cumulative impact:

- Planning policy context

The Springvale Activity Centre Local Policy places the subject site within the Springvale Activity Centre. One of the policy objectives at Clause 22.10-2 is to strengthen and diversify the role of the Asian Food Precinct and promote a 'night-time' economy. The existing use of the land for a Karaoke bar is in line with the intent of this policy and it is considered that the proposed amendments to the hours of operation, patron numbers and red line area will support the ongoing use.

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- Surrounding land use mix and amenity

The subject site is mainly surrounded by commercial and office uses. It is noted that there are residential apartments on the southern side of Balmoral Avenue, located at first and second floor level, however, given the location within Springvale Activity Centre and the recommended conditions of permit that address amenity matters, it is not considered that the proposal will generate amenity impacts beyond what is considered reasonable for the area.

- The mix of licenced premises

The surrounding licenced premises include a mix of restaurants and packaged liquor.

- Transport and dispersal

Patrons leaving the premises are not likely to pass through residentially zoned areas as the site is located within Springvale Activity Centre. The Springvale train station and likely taxi and car pick up points would not require patrons to pass through residential areas.

- Impact mitigation

Toilets are provided within the building. An Alcohol Management Plan has been submitted which details the house policy for the responsible service of alcohol including prohibiting the selling of alcohol to intoxicated persons and minors.

While it is acknowledged that the proposal will contribute to the cumulative impact of licenced premises in the area, this impact is not considered to be unreasonable given the local planning policy at Clause 22.10 which encourages a 'night time' economy in the Asian Food Precinct, and the fact that this site is located within an Activity Centre.

The proposal will offer economic benefits and consumer choice within the area and support its ongoing viability, enabling an enhanced vitality of the area for uses operating after normal business hours. Conditions limiting the proposed hours of operation and implementation of mitigation measures outlined in the Alcohol Management Plan and Acoustic Report are considered to be appropriate in mitigating any adverse amenity impacts resulting from the cumulative impact of licenced premises in the area.

Other matters

Planning permit PLN16/0567 included a condition (2.7) that the Alcohol Management Plan was required to be amended to include the red line area, with a statement that alcohol is not to be consumed beyond the red line area or taken away from the premises. It is considered that this should form a separate permit condition so it can be enforced by Council.

Conclusion

The application has been assessed against the relevant sections of the Greater Dandenong Planning Scheme, including the State and Local Planning Policy Framework, Municipal Strategic Statement, zones, overlays and Clause 65.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

Overall it is considered that the proposed amendments are appropriate having regard to the site's location within the Springvale Activity Centre.

The following amendments to the permit are recommended (and are shown in red in the recommendation below):

- Amend the preamble to include 'reduction in the car parking requirements'.
- Amend condition 1 to require changes to the AMP and submission of the acoustic report.
- Delete condition 2, and replace with the word 'deleted'.
- Amend condition 3.3 to refer to current legislation.
- Add condition 4 and renumber subsequent conditions.
- Add condition 7 and renumber subsequent conditions.
- Amend condition 9 (previously condition 7) to allow amended hours of operation
- Amend condition 10 (previously condition 8) to allow amended hours for the sale and consumption of liquor
- Amend condition 12 (previously condition 10) to allow an increase in patron numbers
- Amend condition 15 (previously condition 13) to refer to current legislation.
- Amend the endorsed plans and documents (once conditions 1 and 2 have been fulfilled).

The following table is to be inserted in the amended permit:

Date amended:	Brief description of amendments
[insert date of approval]	Amended permit preamble pursuant to Section 72 of the Planning and Environment Act 1987
	Amended permit conditions pursuant to Section 72 of the Planning and Environment Act 1987
	Amended endorsed plans pursuant to Section 72 of the Planning and Environment Act 1987

Recommendation

That Council resolves to Grant an amendment to a planning permit in respect of the land known and described as 1-2/1-3 Balmoral Avenue, Springvale, for the purpose of development and use of the site for the purposes of a Place of Assembly with an on-premises licence, display of business identification signage and reduction in car parking in accordance with the endorsed plans.

For ease of reference, this permit is to be renumbered to PLA21/0619 with plans being endorsed to form part of this permit. The initial permit is to be superseded pursuant to Section 74 of the Planning and Environment Act 1987.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 1. Before any changes approved under this amended permit (PLA21/0619) commence, amended plans, must be submitted to the Responsible Authority for approval. Once approved, the amended plans will be endorsed and form part of this permit. The amended plans must be in generally in accordance with the plans submitted with the application but modified to show:**
 - 1.1. A revised Alcohol Management Plan to show the following:**
 - 1.1.1 Reference to current Environment Protection Regulations for noise and reference to any required noise control measures identified in the acoustic report required by condition 3 below.**
 - 1.1.2 Correctly identifying the details of the provision of music associated with a Karaoke Bar.**
 - 1.1.3 Deletion of reference to the beer garden.**
 - 1.1.4 The complaints handling process amended to include implementation of a complaints register to be kept at the premises and made available to City of Greater Dandenong or Victoria Police upon request. The register must include details of the complaint received (who, when, where, what), any action taken and the response provided to the complainant.**
 - 1.2. An acoustic report to meet the requirements of condition 3.**
 - 1.3. A Patron Management Plan to meet the requirements of condition 4.**

All to the satisfaction of the responsible authority.
- 2. Deleted.**
- 3. Prior to the endorsement of plans under condition 1 and before any changes approved under this amended permit (PLA21/0619) commence, an acoustic report prepared by a suitably qualified acoustic engineer must be submitted to the Responsible Authority for approval. When approved, the report will be endorsed and will then form part of the permit. The report must:**
 - 3.1 Identify all potential noise sources associated with the subject premises that will impact on adjoining or surrounding noise sensitive premises, having regard to the maximum operating conditions;**
 - 3.2 Identify all potential noise sources associated with nearby industrial / commercial/ public transport premises that will impact on the subject premises, having regard to the maximum operating conditions of those premises;**
 - 3.3 Provide details of all noise control measures to be incorporated into the development required to achieve compliance with relevant Environment Protection Regulations 2021.**

Once approved, the site must be constructed and used in accordance with the recommendations of the endorsed acoustic report to the satisfaction of the Responsible Authority.
- 4. Prior to the endorsement of plans under Condition 1 and before any changes approved under this amended permit (PLA21/0619) commence, a patron management plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The patron management plan must be prepared by a person with suitable qualifications to the satisfaction of the Responsible Authority and must detail how the licensed venue will operate to ensure any impacts on the surrounding residential uses will be managed, including but not limited to:**

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 4.1 Details of proposed management of the licensed venue including emergency procedure management plan, crowd control, responsible serving of alcohol and external areas;
- 4.2 Staffing and security arrangements for the licensed venue including staffing/security to manage patron numbers and behaviour;
- 4.3 Staffing and other measures that are designed to ensure the orderly arrival and departure of patrons;
- 4.4 Signage to be used to encourage responsible off-site patron behaviour;
- 4.5 Training of staff in the management of patron behaviour;
- 4.6 Measures to manage queuing patrons;
- 4.7 Identification of all noise sources associated with the licensed venue (including, but not limited to, music noise, external areas, queuing lines, entries and exits and courtyards);
- 4.8 Identification of noise sensitive areas including residential uses and accommodation in close proximity to the land;
- 4.9 Measures to be undertaken to address all noise sources identified, including on and off-site noise attenuation measures;
- 4.10 Procedures to be undertaken by staff in the event of a complaint by a member of the public, the Victoria Police, an authorised officer of the Responsible Authority or an officer of the liquor licensing authority;
- 4.11 Details of any measures to work with neighbours and other residents to address complaints and general operational issues; and
- 4.12 Any other measures to be undertaken to ensure minimal amenity impacts.

When approved, the patron management plan will be endorsed and will form part of this permit. Except with the prior written consent of the Responsible Authority, the patron management plan must not be modified.

The provisions, recommendations and requirements of the endorsed patron management plan must be implemented and complied with to the satisfaction the Responsible Authority.

5. The layout of the site, and the size of the proposed buildings and works as shown on the endorsed plan, shall not be altered or modified (whether or not in order to comply with any Statute, Statutory Rule or Local Law or for any other reason) without the prior consent of the Responsible Authority.
6. The permitted use must not commence and the subject site must not be occupied for that use until the conditions of this permit have been complied with, unless with the further written consent of the Responsible Authority.
7. Liquor must only be consumed within the licensed area, as defined by the red line on the endorsed plan/s.
8. Once the development has started, it must be continued and completed to the satisfaction of the Responsible Authority.
9. The use, may operate only between the following hours:
 - Sunday to Thursday: 6pm to 1am the following day
 - Friday and Saturday: 6pm to 1am the following day

Unless with the further written consent of the Responsible Authority.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

10. The only Liquor Licence which may be applied for shall be an On-Premises Licence and the times for the consumption of alcohol shall be restricted to the following hours:
 - Sunday to Thursday: 6pm to 1am the following day
 - Friday and Saturday: 6pm to 1am the following dayUnless with the further written consent of the Responsible Authority.
11. Goods, materials, equipment and the like associated with the use of the land must not be displayed or stored outside the building/s, without the further written consent of the Responsible Authority.
12. Without the written permission of the Responsible Authority, no more than one hundred and ten (110) patrons shall be permitted on the site at any time.
13. The amenity of the area must not be detrimentally affected by the use or development on the land, through the:
 - 13.1. Transport of materials, goods or commodities to or from the land.
 - 13.2. Appearance of any building, works or materials,
 - 13.3. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil,
 - 13.4. Adverse behaviour of patrons on, to or from the premises,All to the satisfaction of the Responsible Authority.
14. The use must comply with the endorsed Site Management Plan at all times.
15. Noise levels must not exceed the permissible noise levels stipulated in part 5.3 Noise, of the Environment Protection Regulation 2021 for Residential Premises, Commercial, Industrial and Trade Premises and Entertainment Venues and Outdoor Entertainment Events.
16. Bins or other receptacles for any form of rubbish or refuse must not be placed or allowed to remain in view of the public and smell must not be emitted from any such receptacle.
17. All wastes must be disposed of to the satisfaction of the Responsible Authority and no liquid waste or polluted waters shall be discharged into a sewer or stormwater drainage system.
18. The site shall be kept in a neat and tidy condition at all times, all to the satisfaction of the Responsible Authority.
19. No gaming machines shall be installed on the premises at any time.
20. At all times during the operation of the use, there must be present on the premises a person over the age of 18 years who is responsible for ensuring the the activities on the premises and the conduct of persons attending the premises do not have a detrimental impact on the amenity of the locality to the satisfaction of the responsible authority (referred to in this permit as 'the manager').

The manager must be authorised by the operator under this permit to make statements at any time on his/her behalf to any officer of the responsible authority and of the Victoria Police and/or of Liquor Licensing Victoria authorised under section 129 of the Liquor Control Reform Act 1998; and/or to take action on his/her behalf in accordance with a direction by such officer.

21. No sexually explicit entertainment must be carried out on the site, all to the satisfaction of the Responsible Authority.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

22. The roller shutters to the first floor windows facing Balmoral Avenue must remain open during the day and must be shut from 8pm until the closing of each day, unless the approved acoustic report requires an alternative outcome. If this occurs, the requirements of the acoustic report are to take precedents.
23. The location, type and dimensions of the signage including those of the supporting structure, as shown on the endorsed plan/s must not be altered unless with the consent of the Responsible Authority.
24. The signage must not be animated and no flashing or intermittent light/s shall be displayed.
25. The signage must not be illuminated by external or internal lighting.
26. No bunting, streamers and festooning shall be displayed.
27. The signage shall be constructed and maintained to the satisfaction of the Responsible Authority.
28. The signage hereby approved will expire ten (10) years after the date of this permit.
29. This permit will expire if:
 - 29.1 The development or any stage of it does not start within two (2) years of the date of this permit, or
 - 29.2 The development or any stage of it is not completed within four (4) years of the date of this permit, or
 - 29.3 The use does not start within one (1) year of the completion of the development, or
 - 29.4 The use is discontinued for a period of two (2) years.
Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:
 - (a) the request for the extension is made within twelve (12) months after the permit expires; and
 - (b) the development or stage started lawfully before the permit expired.

NOTES

1. A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.
2. Premises used for the sale or storage of food in any manner whatsoever are to be registered under the Food Act and require Council approval via the Environmental Health Officer before occupation.
3. Except where no permit is required under the provisions of the Planning Scheme, no sign, flashing or intermittent lights, bunting or advertising device may be erected or displayed on the land without the permission of the Responsible Authority.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

Prior to the erection of any advertising signs on the land, consultation should be made with officers of the Town Planning Department to determine the relevant Planning Scheme Controls.

- 4. An application will be made to the Victorian Civil and Administrative Tribunal to cancel the permit if the operator, manager or patrons are found guilty of committing any of the following offences in or associated with the use of the land:**
 - 4.1. Allowing the consumption of alcohol on the premises contrary to the Liquor Control Reform Act 1998 (or subsequent replacement Act); or**
 - 4.2. An offence for gambling contrary to the Lotteries, Gaming and Betting Act 1966 (or subsequent replacement act); or**
 - 4.3. For allowing the use or sale of drugs on the premises pursuant to the Drugs, Poisons and Controlled Substances Act 1981 (or subsequent replacement Act).**

MINUTE 477

Moved by: Cr Tim Dark

Seconded by: Cr Richard Lim OAM

That Council resolves to Grant an amendment to a planning permit in respect of the land known and described as 1-2/1-3 Balmoral Avenue, Springvale, for the purpose of development and use of the site for the purposes of a Place of Assembly with an on-premises licence, display of business identification signage and reduction in car parking in accordance with the endorsed plans.

For ease of reference, this permit is to be renumbered to PLA21/0619 with plans being endorsed to form part of this permit. The initial permit is to be superseded pursuant to Section 74 of the Planning and Environment Act 1987.

- 1. Before any changes approved under this amended permit (PLA21/0619 commence, amended plans, must be submitted to the Responsible Authority for approval. Once approved, the amended plans will be endorsed and form part of this permit. The amended plans must be in generally in accordance with the plans submitted with the application but modified to show:**
 - 1.1. A revised Alcohol Management Plan to show the following:**
 - 1.1.1 Reference to current Environment Protection Regulations for noise and reference to any required noise control measures identified in the acoustic report required by condition 3 below.**
 - 1.1.2 Correctly identifying the details of the provision of music associated with a Karaoke Bar.**
 - 1.1.3 Deletion of reference to the beer garden.**

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

1.1.4 The complaints handling process amended to include implementation of a complaints register to be kept at the premises and made available to City of Greater Dandenong or Victoria Police upon request. The register must include details of the complaint received (who, when, where, what), any action taken and the response provided to the complainant.

1.2. An acoustic report to meet the requirements of condition 3.

1.3. A Patron Management Plan to meet the requirements of condition 4.

All to the satisfaction of the responsible authority.

2. Deleted.

3. Prior to the endorsement of plans under condition 1 and before any changes approved under this amended permit (PLA21/0619) commence, an acoustic report prepared by a suitably qualified acoustic engineer must be submitted to the Responsible Authority for approval. When approved, the report will be endorsed and will then form part of the permit. The report must:

3.1 Identify all potential noise sources associated with the subject premises that will impact on adjoining or surrounding noise sensitive premises, having regard to the maximum operating conditions;

3.2 Identify all potential noise sources associated with nearby industrial / commercial/ public transport premises that will impact on the subject premises, having regard to the maximum operating conditions of those premises;

3.3 Provide details of all noise control measures to be incorporated into the development required to achieve compliance with relevant Environment Protection Regulations 2021.

Once approved, the site must be constructed and used in accordance with the recommendations of the endorsed acoustic report to the satisfaction of the Responsible Authority.

4. Prior to the endorsement of plans under Condition 1 and before any changes approved under this amended permit (PLA21/0619) commence, a patron management plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The patron management plan must be prepared by a person with suitable qualifications to the satisfaction of the Responsible Authority and must detail how the licensed venue will operate to ensure any impacts on the surrounding residential uses will be managed, including but not limited to:

4.1 Details of proposed management of the licensed venue including emergency procedure management plan, crowd control, responsible serving of alcohol and external areas;

4.2 Staffing and security arrangements for the licensed venue including staffing/security to manage patron numbers and behaviour;

4.3 Staffing and other measures that are designed to ensure the orderly arrival and departure of patrons;

4.4 Signage to be used to encourage responsible off-site patron behaviour;

4.5 Training of staff in the management of patron behaviour;

4.6 Measures to manage queuing patrons;

4.7 Identification of all noise sources associated with the licensed venue (including, but not limited to, music noise, external areas, queuing lines, entries and exits and courtyards);

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 4.8 Identification of noise sensitive areas including residential uses and accommodation in close proximity to the land;
- 4.9 Measures to be undertaken to address all noise sources identified, including on and off-site noise attenuation measures;
- 4.10 Procedures to be undertaken by staff in the event of a complaint by a member of the public, the Victoria Police, an authorised officer of the Responsible Authority or an officer of the liquor licensing authority;
- 4.11 Details of any measures to work with neighbours and other residents to address complaints and general operational issues; and
- 4.12 Any other measures to be undertaken to ensure minimal amenity impacts.

When approved, the patron management plan will be endorsed and will form part of this permit. Except with the prior written consent of the Responsible Authority, the patron management plan must not be modified.

The provisions, recommendations and requirements of the endorsed patron management plan must be implemented and complied with to the satisfaction the Responsible Authority.

- 5. The layout of the site, and the size of the proposed buildings and works as shown on the endorsed plan, shall not be altered or modified (whether or not in order to comply with any Statute, Statutory Rule or Local Law or for any other reason) without the prior consent of the Responsible Authority.
- 6. The permitted use must not commence and the subject site must not be occupied for that use until the conditions of this permit have been complied with, unless with the further written consent of the Responsible Authority.
- 7. Liquor must only be consumed within the licensed area, as defined by the red line on the endorsed plan/s.
- 8. Once the development has started, it must be continued and completed to the satisfaction of the Responsible Authority.
- 9. The use, may operate only between the following hours:
 - Sunday to Thursday: 6pm to 1am the following day
 - Friday and Saturday: 6pm to 1am the following dayUnless with the further written consent of the Responsible Authority.
- 10. The only Liquor Licence which may be applied for shall be an On-Premises Licence and the times for the consumption of alcohol shall be restricted to the following hours:
 - Sunday to Thursday: 6pm to 1am the following day
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- 11. Goods, materials, equipment and the like associated with the use of the land must not be displayed or stored outside the building/s, without the further written consent of the Responsible Authority.
- 12. Without the written permission of the Responsible Authority, no more than one hundred and ten (110) patrons shall be permitted on the site at any time.
- 13. The amenity of the area must not be detrimentally affected by the use or development on the land, through the:
 - 13.1. Transport of materials, goods or commodities to or from the land.
 - 13.2. Appearance of any building, works or materials,

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 13.3. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil,**
13.4. Adverse behaviour of patrons on, to or from the premises,
All to the satisfaction of the Responsible Authority.
- 14. The use must comply with the endorsed Site Management Plan at all times.**
- 15. Noise levels must not exceed the permissible noise levels stipulated in part 5.3 Noise, of the Environment Protection Regulation 2021 for Residential Premises, Commercial, Industrial and Trade Premises and Entertainment Venues and Outdoor Entertainment Events.**
- 16. Bins or other receptacles for any form of rubbish or refuse must not be placed or allowed to remain in view of the public and smell must not be emitted from any such receptacle.**
- 17. All wastes must be disposed of to the satisfaction of the Responsible Authority and no liquid waste or polluted waters shall be discharged into a sewer or stormwater drainage system.**
- 18. The site shall be kept in a neat and tidy condition at all times, all to the satisfaction of the Responsible Authority.**
- 19. No gaming machines shall be installed on the premises at any time.**
- 20. At all times during the operation of the use, there must be present on the premises a person over the age of 18 years who is responsible for ensuring the the activities on the premises and the conduct of persons attending the premises do not have a detrimental impact on the amenity of the locality to the satisfaction of the responsible authority (referred to in this permit as ‘the manager’).**

The manager must be authorised by the operator under this permit to make statements at any time on his/her behalf to any officer of the responsible authority and of the Victoria Police and/or of Liquor Licensing Victoria authorised under section 129 of the Liquor Control Reform Act 1998; and/or to take action on his/her behalf in accordance with a direction by such officer.

- 21. No sexually explicit entertainment must be carried out on the site, all to the satisfaction of the Responsible Authority.**
- 22. The roller shutters to the first floor windows facing Balmoral Avenue must remain open during the day and must be shut from 8pm until the closing of each day, unless the approve acoustic report requires as alternative outcome. If this occurs, the requirements of the acoustic report are to take precedents.**
- 23. The location, type and dimensions of the signage including those of the supporting structure, as shown on the endorsed plan/s must not be altered unless with the consent of the Responsible Authority.**
- 24. The signage must not be animated and no flashing or intermittent light/s shall be displayed.**
- 25. The signage must not be illuminated by external or internal lighting.**
- 26. No bunting, streamers and festooning shall be displayed.**
- 27. The signage shall be constructed and maintained to the satisfaction of the Responsible Authority.**
- 28. The signage hereby approved will expire ten (10) years after the date of this permit.**
- 29. This permit will expire if:**
- 29.1 The development or any stage of it does not start within two (2) years of the date of this permit, or**

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

29.2 The development or any stage of it is not completed within four (4) years of the date of this permit, or

29.3 The use does not start within one (1) year of the completion of the development, or

**29.4 The use is discontinued for a period of two (2) years.
Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.**

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

(a) the request for the extension is made within twelve (12) months after the permit expires; and

(b) the development or stage started lawfully before the permit expired.

NOTES

- 1. A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.**
- 2. Premises used for the sale or storage of food in any manner whatsoever are to be registered under the Food Act and require Council approval via the Environmental Health Officer before occupation.**
- 3. Except where no permit is required under the provisions of the Planning Scheme, no sign, flashing or intermittent lights, bunting or advertising device may be erected or displayed on the land without the permission of the Responsible Authority.**

Prior to the erection of any advertising signs on the land, consultation should be made with officers of the Town Planning Department to determine the relevant Planning Scheme Controls.

- 4. An application will be made to the Victorian Civil and Administrative Tribunal to cancel the permit if the operator, manager or patrons are found guilty of committing any of the following offences in or associated with the use of the land:**
 - 4.1. Allowing the consumption of alcohol on the premises contrary to the Liquor Control Reform Act 1998 (or subsequent replacement Act); or**
 - 4.2. An offence for gambling contrary to the Lotteries, Gaming and Betting Act 1966 (or subsequent replacement act); or**
 - 4.3. For allowing the use or sale of drugs on the premises pursuant to the Drugs, Poisons and Controlled Substances Act 1981 (or subsequent replacement Act).**

CARRIED

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION - NO. 1-2/1-3 BALMORAL AVENUE,
SPRINGVALE (PLANNING APPLICATION NO. PLA21/0619)**

ATTACHMENT 1

**ASSESSED PLANS AND ALCOHOL
MANAGEMENT PLAN**

PAGES 4 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

MDM Karaoke – Alcohol Management Plan

MDM Karaoke is a medium neighbourhood bar which is a popular meeting place for online dating.

The Bar has been operating for 4-5 years and operated by the Victorian Commission for Gaming and Liquor Licensing.

a. Hours of operation

On any day from 6.00pm to 1:00am the following day

b. Details of the provision of music

No live amplified music, background music only. Speakers in each room are driven by one domestic amplifier which plays music into the room until closing. No DJs perform in the Bar.

c. Security arrangements including hours of operation and management to minimise queues outside the venue

No dedicated security is required pursuant to the liquor licence or the planning permit. If there is a queue, the Bar Manager or Night Manager will monitor the queue to ensure the footpath is not blocked and encourage patrons to go elsewhere if the Bar is at capacity.

d. Training of staff in the management of patron behaviour

Alcohol is only served in accordance with the Liquor Licence and the safety and wellbeing of patrons is the priority. Management undertakes induction of new staff including patron behaviour management and explanation of the following policies:

- i. All staff involved in the service of alcohol will be required to undergo Responsible Serving of Alcohol (RSA) training and accreditation before they will be considered for employment.
- ii. All staff must ensure their RSA qualifications are up to date.
- iii. A copy of the current RSA certificate will be filed in the RSA Register.
- iv. Bar staff do not consume alcohol when on duty.
- v. The Bar does not encourage excessive or rapid consumption of alcohol.
- vi. When serving non pre-packaged alcohol, standard drink measures will be served at all times.
- vii. Drunk patrons will not be permitted to enter the premises.
- viii. Alcohol will not be served to any person who is intoxicated or drunk.
- ix. Bar staff will follow RSA training procedures when refusing service, including offering a non-alcoholic drink as a substitute.
- x. Drunk patrons will be asked to leave the premises (after appropriate safe transport options are offered, including asking their friends to take them home).
- xi. Tap water is provided free of charge.
- xii. The Bar does not have happy hours or other promotions involving discounted alcohol.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

xiii. When there is poor behaviour by patrons, the Bar Manager or Night Manager will speak to the person and ask them to behave appropriately and if they do not comply, ask them to leave.

e. A complaint handling process

Complaints can be made in person or online and Bar management monitor and address issues raised via social media. In person complaints are referred to the Bar Manager. The Bar Manager will investigate, assess and respond to any complaints. Investigation may include review of CCTV footage and interviews with relevant staff, as necessary.

f. Management of patrons who are smoking

Smoking is prohibited inside and permitted in outdoor areas. Patrons are discouraged from smoking in public areas outside of the red line area.

g. General rubbish storage and removal arrangements, including hours of pick up

General rubbish is deposited in the receptacles in the afternoon before opening and these are stored in the lane at the rear of the premises, with permission of the owner of the lane. General rubbish is collected by Council contractors on Tuesday mornings between 9am and 10am.

h. Bottle storage and removal arrangements including hours of pickup

Empty bottles for recycling are deposited in the wheelie bins in the afternoon before opening and these are stored in in the lane at the rear of the premises, with permission of the owner of the lane. Recycling is collected by Council contractors on Tuesday mornings between 9am and 10am.

i. Noise attenuation measures including the use of noise limiters, if applicable

Amplified noise is limited to background music throughout the premises. There are no outdoor speakers at the front of the Bar (Balmoral Avenue).

The level of noise emitted from the Bar shall not exceed the permissible noise levels for entertainment noise as specified in the State Environment Protection Policy (Control of Music Noise from Public Premises) No. N-2.

The Bar is not a music or dancing venue and has operated for approximately 4 -5 years primarily as a meeting place for conversation. Staff are directed to ensure that the volume of music does not exceed the volume of conversation.

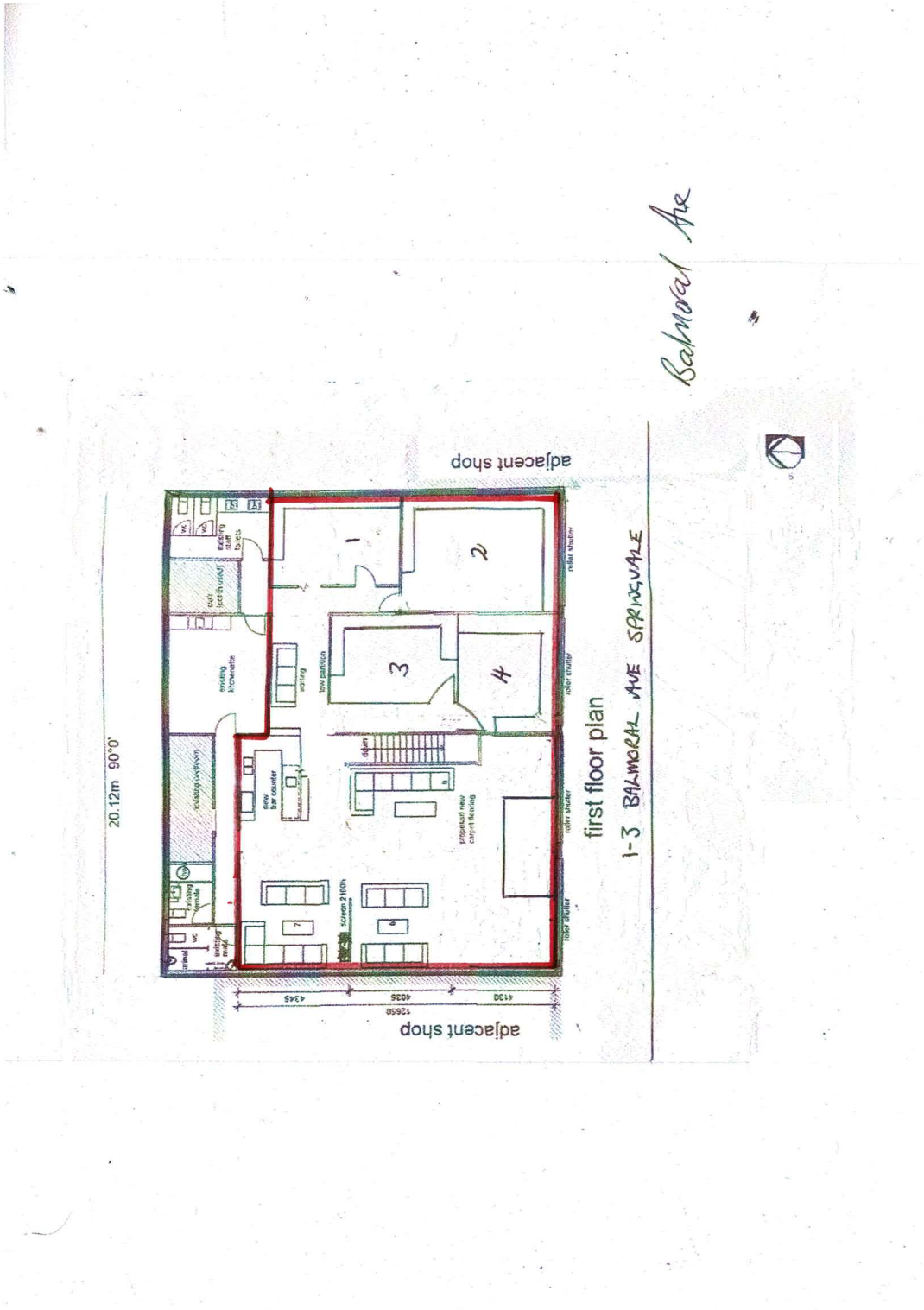
j. Management of any outdoor areas to minimise impacts to the amenity of nearby properties

There are no outdoor areas (footpath, parklet and beer garden) is there is no expectation of any impact on neighbours. There is signage instructing patrons to leave quietly. Staff also instruct patrons to leave quietly.

k. Electronic security measures to be used including but not limited to lighting and surveillance equipment

The Bar has CCTV cameras in each room and the beer garden which can be viewed from the main bar and accessed by management remotely. The front of the Bar is adequately lit.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)



2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

STATUTORY PLANNING APPLICATIONS

**TOWN PLANNING APPLICATION - NO. 1-2/1-3 BALMORAL AVENUE,
SPRINGVALE (PLANNING APPLICATION NO. PLA21/0619)**

ATTACHMENT 2

ORIGINAL PERMIT AND ENDORSED PLANS

PAGES 10 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

**PLANNING
PERMIT**

Permit No: PLN16/0567
Planning Scheme: Greater Dandenong
Planning Scheme
Responsible Authority : Greater Dandenong
City Council

ADDRESS OF THE LAND: First Floor Suite 1-2/1-3 Balmoral Avenue
SPRINGVALE VIC 3171
(Lot 1 TP 707399)

THE PERMIT ALLOWS: Development and use of the site for the purposes of
a Place of Assembly with an on-premises licence and
display of business identification signage

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Before the development starts, two (2) copies of amended plans drawn to scale and dimensioned, must be submitted to the Responsible Authority for approval. No buildings or works must be commenced until the plans have been approved and endorsed by the Responsible Authority. The endorsed copy of the plans forms part of this permit. The plans must be in accordance with the plans submitted with the application but modified to show:
 - 1.1. A red line plan that excludes the store room.
All to the satisfaction of the responsible authority.
2. Before the use start, an updated Alcohol Management Plan must be submitted to the Responsible Authority for approval that demonstrates the application of alcohol harm reduction strategies to mitigate compliance, behaviour and amenity risks through policies and procedures for:
 - 2.1 Managerial and staff roles and responsibilities.
 - 2.2 Managing minors on the premises and prevent underage drinking
 - 2.3 Addressing patron intoxication, anti-social behaviour, and refusal of service.
 - 2.4 Ensuring amenity, safety and security for patrons and staff.
 - 2.5 Safe transport from the premises (eg, intoxicated patrons deemed over 0.05).
 - 2.6 House policies outlining how the premises is managed and statutory posters.
 - 2.7 The Redline area, with a statement that alcohol is not to be consumed beyond the Redline or taken away from the venue.
 - 2.8 That the safety and amenity of passing pedestrians surrounding areas and residents is to be respected upon leaving the premises.
 - 2.9 Demonstrate how they will mitigate noise emissions from the premises to not impact on the amenity of surrounding commercial and residential properties.All to the satisfaction of the Responsible Authority.

Continued...

Date Issued 13 September 2017 Signature for and on behalf
of the Responsible Authority 

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)


- 2 -

PLANNING PERMIT NO. PLN16/0567

Conditions Continued

3. Prior to the operation of the use hereby approved, two (2) copies of an acoustic report prepared by a suitably qualified acoustic engineer must be submitted to the Responsible Authority for approval. When approved, the report will be endorsed and will then form part of the permit. The report must:
 - 3.1 Identify all potential noise sources associated with the subject premises that will impact on adjoining or surrounding noise sensitive premises, having regard to the maximum operating conditions;
 - 3.2 Identify all potential noise sources associated with nearby industrial / commercial/ public transport premises that will impact on the subject premises, having regard to the maximum operating conditions of those premises;
 - 3.3 Provide details of all noise control measures to be incorporated into the development required to achieve compliance with relevant State Environment Protection Policies.Once approved, the site must be constructed and used in accordance with the recommendations of the endorsed acoustic report to the satisfaction of the Responsible Authority.
4. The layout of the site, and the size of the proposed buildings and works as shown on the endorsed plan, shall not be altered or modified (whether or not in order to comply with any Statute, Statutory Rule or Local Law or for any other reason) without the prior consent of the Responsible Authority.
5. The permitted use must not commence and the subject site must not be occupied for that use until the conditions of this permit have been complied with, unless with the further written consent of the Responsible Authority.
6. Once the development has started, it must be continued and completed to the satisfaction of the Responsible Authority.
7. The use, may operate only between the following hours:
 - Sunday to Thursday: 9am to 11pm
 - Friday and Saturday: 9am to 12midnightUnless with the further written consent of the Responsible Authority.
8. The only Liquor Licence which may be applied for shall be an On-Premises Licence and the times for the consumption of alcohol shall be restricted to the following hours:
 - Sunday to Thursday: 6pm to 11pm
 - Friday and Saturday: 6pm to 12midnightUnless with the further written consent of the Responsible Authority.
9. Goods, materials, equipment and the like associated with the use of the land must not be displayed or stored outside the building/s, without the further written consent of the Responsible Authority.

Continued...

Date Issued 13 September 2017 Signature for and on behalf
of the Responsible Authority 

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 3 -


PLANNING PERMIT NO. PLN16/0567

Conditions Continued

10. Without the written permission of the Responsible Authority, no more than thirty-six (36) patrons shall be permitted on the site at any time.
11. The amenity of the area must not be detrimentally affected by the use or development on the land, through the:
 - 11.1 Transport of materials, goods or commodities to or from the land.
 - 11.2 Appearance of any building, works or materials,
 - 11.3 Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil,
 - 11.4 Adverse behaviour of patrons on, to or from the premises,All to the satisfaction of the Responsible Authority.
12. The use must comply with the endorsed Site Management Plan at all times.
13. Noise emitted from the premises must not exceed the permissible noise levels determined in accordance with the Environment Protection Policy N-2 Control of Music Noise From Public Places.
14. Bins or other receptacles for any form of rubbish or refuse must not be placed or allowed to remain in view of the public and smell must not be emitted from any such receptacle.
15. All wastes must be disposed of to the satisfaction of the Responsible Authority and no liquid waste or polluted waters shall be discharged into a sewer or stormwater drainage system.
16. The site shall be kept in a neat and tidy condition at all times, all to the satisfaction of the Responsible Authority.
17. No gaming machines shall be installed on the premises at any time.
18. At all times during the operation of the use, there must be present on the premises a person over the age of 18 years who is responsible for ensuring the the activities on the premises and the conduct of persons attending the premises do not have a detrimental impact on the amenity of the locality to the satisfaction of the responsible authority (referred to in this permit as 'the manager').

The manager must be authorised by the operator under this permit to make statements at any time on his/her behalf to any officer of the responsible authority and of the Victoria Police and/or of Liquor Licensing Victoria authorised under section 129 of the Liquor Control Reform Act 1998; and/or to take action on his/her behalf in accordance with a direction by such officer.
19. No sexually explicit entertainment must be carry out on the site, all to the satisfaction of the Responsible Authority.
20. The roller shutters to the first floor windows facing Balmoral Avenue must remain open during the day and must be shut from 8pm until the closing of each day, unless the approve acoustic report requires as alternative outcome. If this occurs, the requirements of the acoustic report are to take precedents.

Continued...

Date Issued 13 September 2017 Signature for and on behalf
of the Responsible Authority 

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 4 -

PLANNING PERMIT NO. PLN16/0567

Conditions Continued

21. The location, type and dimensions of the signage including those of the supporting structure, as shown on the endorsed plan/s must not be altered unless with the consent of the Responsible Authority.
22. The signage must not be animated and no flashing or intermittent light/s shall be displayed.
23. The signage must not be illuminated by external or internal lighting.
24. No bunting, streamers and festooning shall be displayed.
25. The signage shall be constructed and maintained to the satisfaction of the Responsible Authority.
26. The signage hereby approved will expire ten (10) years after the date of this permit.
27. This permit will expire if:
 - 27.1 The development or any stage of it does not start within two (2) years of the date of this permit, or
 - 27.2 The development or any stage of it is not completed within four (4) years of the date of this permit, or
 - 27.3 The use does not start within one (1) year of the completion of the development, or
 - 27.4 The use is discontinued for a period of two (2) years.

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:


- (a) the request for the extension is made within twelve (12) months after the permit expires; and
- (b) the development or stage started lawfully before the permit expired.

NOTES

1. A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.
2. Premises used for the sale or storage of food in any manner whatsoever are to be registered under the Food Act and require Council approval via the Environmental Health Officer before occupation.
3. Except where no permit is required under the provisions of the Planning Scheme, no sign, flashing or intermittent lights, bunting or advertising device may be erected or displayed on the land without the permission of the Responsible Authority.

Prior to the erection of any advertising signs on the land, consultation should be made with officers of the Town Planning Department to determine the relevant Planning Scheme Controls.

Continued...

Date Issued 13 September 2017 Signature for and on behalf
of the Responsible Authority 

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

- 5 -

PLANNING PERMIT NO. PLN16/0567

Conditions Continued

4. An application will be made to the Victorian Civil and Administrative Tribunal to cancel the permit if the operator, manager or patrons are found guilty of committing any of the following offences in or associated with the use of the land:-
 - 4.1 Allowing the consumption of alcohol on the premises contrary to the Liquor Control Reform Act 1998 (or subsequent replacement Act); or
 - 4.2 An offence for gambling contrary to the Lotteries, Gaming and Betting Act 1966 (or subsequent replacement act); or
 - 4.3 For allowing the use or sale of drugs on the premises pursuant to the Drugs, Poisons and Controlled Substances Act 1981 (or subsequent replacement Act).

End of Permit Conditions

Under Division 1A of Part 4 of the **Planning and Environment Act 1987** a permit may be amended. Please check with the responsible authority that this permit is the current permit and can be acted upon.

Date Issued 13 September 2017 Signature for and on behalf
of the Responsible Authority 

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

IMPORTANT INFORMATION ABOUT THIS NOTICE

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.
(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the *Planning and Environment Act 1987*.)

WHEN DOES A PERMIT BEGIN?

A permit operates:-

- * from the date specified in the permit; or
- * if no date is specified, from:-
 - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal; or
 - (ii) the date on which it was issued, in any other case.

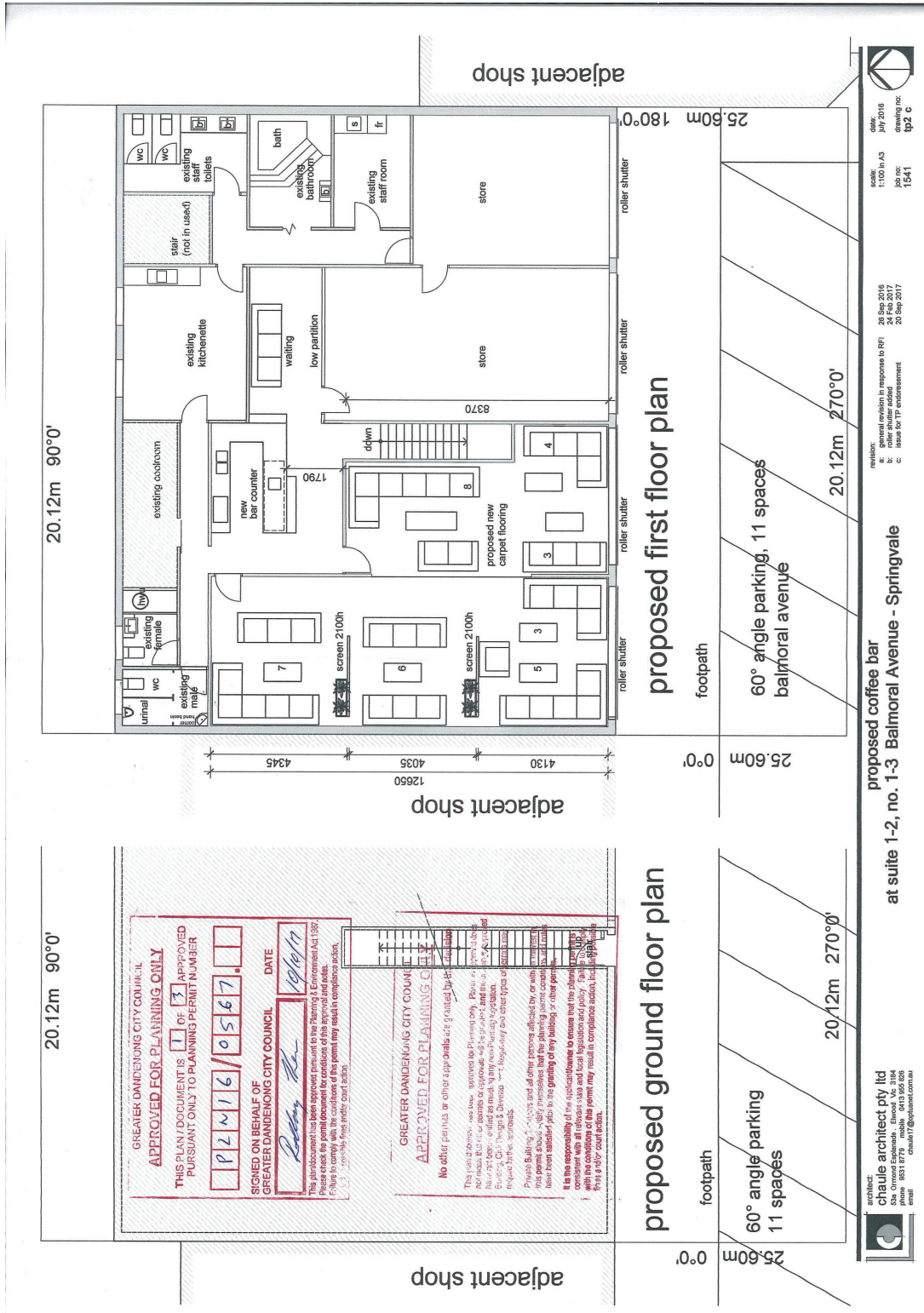
WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:-
 - * the development or any stage of it does not start within the time specified in the permit; or
 - * the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - * the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.
2. A permit for the use of land expires if:-
 - * the use does not start within the time specified in the permit, or if no time is specified, within two years of the issue of the permit; or
 - * the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if:-
 - * the development or any stage of it does not start within the time specified in the permit; or
 - * the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
 - * the use does not start within the time specified in the permit, or if no time is specified, within two years after the completion of the development; or
 - * the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the *Planning and Environment Act 1987*, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision -
 - * the use or development of any stage is to be taken to have started when the plan is certified; and
 - * the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT APPEALS?

- * The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal where, in such case, no right of review exists.
- * An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- * An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- * An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- * An application for review must state the ground upon which it is based.
- * An application for review must also be served on the Responsible Authority.
- * Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)



architect:
 chaule architect pty ltd
 5/60 Springvale Rd
 Springvale VIC 3179
 phone: 0393 5779
 fax: 0393 5828
 email: chaule77@dandenong.vic.gov.au

revisor:
 a: general revision in response to RFI
 b: 28 Sep 2016
 c: 20 Sep 2017
 issue for TP endorsement

at suite 1-2, no. 1-3 Balmoral Avenue - Springvale

proposed coffee bar

proposed first floor plan

proposed ground floor plan

adjacent shop

adjacent shop

adjacent shop

adjacent shop

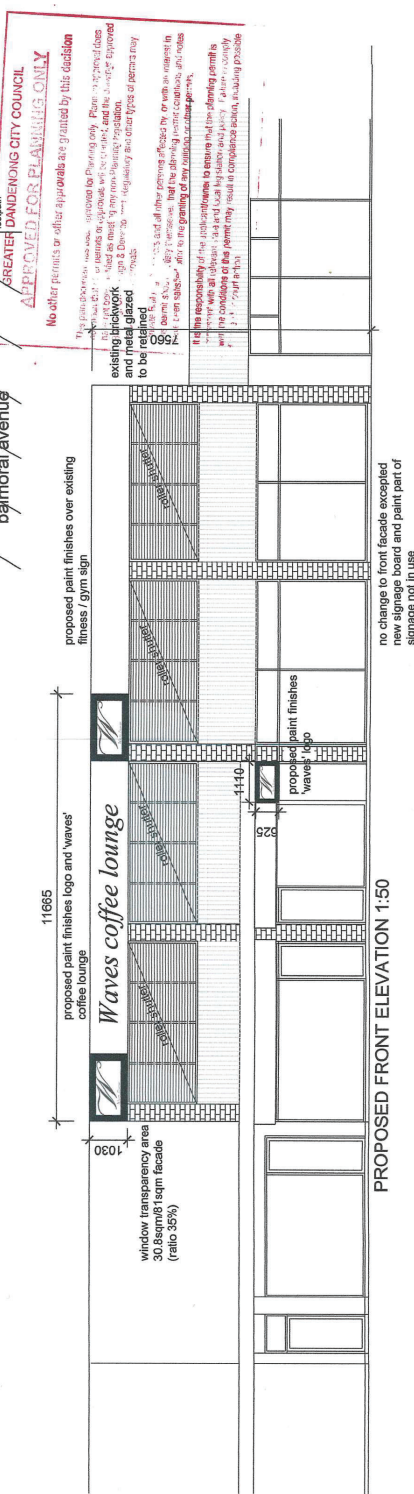
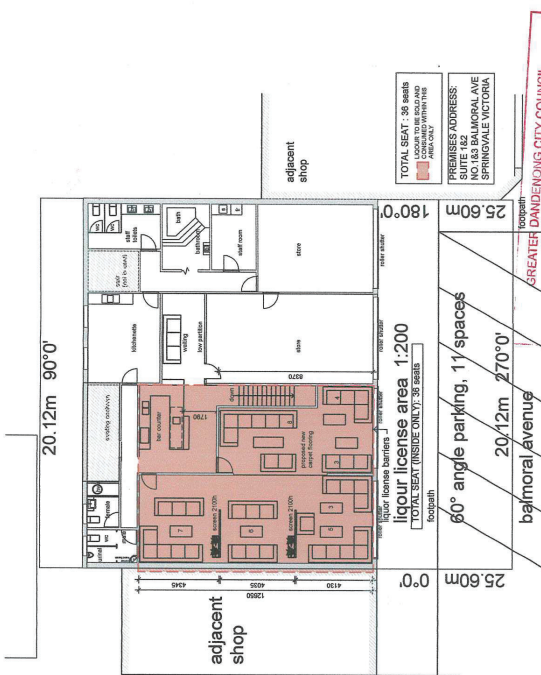
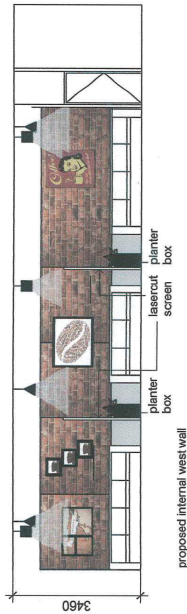
2.2.3 Town Planning Application - No. 1-2/1-3 Balmoral Avenue, Springvale (Planning Application PLA21/0619) (Cont.)

area analysis

- land area 515sqm
- building area 320sqm
- leasable area 200sqm
- camparking requirement 7 car spaces
- car parking 6 public car spaces
- protruded within site boundaries

Note: no change to floor area, car parking, or proposed use required for previous use and proposed use are the same.

GREATHER DANDENONG CITY COUNCIL
APPROVED FOR PLANNING ONLY
 THIS PLAN / DOCUMENT IS 2 OF 3 APPROVED
 PURSUANT ONLY TO PLANNING PERMIT NUMBER
 192116/0567
 DATE 19/09/17
 GREATHER DANDENONG CITY COUNCIL



GREATHER DANDENONG CITY COUNCIL
APPROVED FOR PLANNING ONLY
 No other permits or other approvals are granted by this decision
 This plan is for planning purposes only. It is not to be used for any other purpose. It is subject to the provisions of the Planning Act 1987 and the Council's Planning Policy Framework. It is not to be used for any other purpose. It is subject to the provisions of the Planning Act 1987 and the Council's Planning Policy Framework.

architect:
 chadwick architect pty ltd
 phone 9531 8779 mobile 0413 965 868
 email chadwick17@optusnet.com.au

proposed coffee bar
 at suite 1-2, no. 1-3 Balmoral Avenue - Springvale

revision:
 a: issued for public response to RPI
 b: order number added
 c: issue for TP environment

date: July 2016
 scale: 1:100 in A3
 job no: 1541
 drawing no: 03 C

3 QUESTION TIME - PUBLIC

Question

Pam Naylor, Noble Park

The recently exhibited Long Term Financial Strategy referred to two open space acquisitions in 2021/2022.

- a) What were they?
- b) Can the 'New Open Space for our community' webpage on Council's website be updated with them?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

Yes, I can confirm that the two sites acquired for public open space during 2021/2022 were 61 Heyington Crescent, Noble Park, which is the old Scout site and has an area of 2,940 square metres. The other site was 49 View Road in Springvale, which is a corner site with an area of 966 square metres.

With regards to updating the website to include these sites, we will arrange for this to occur in the next week or two as part of a wider update of this web page.

Question

Pam Naylor, Noble Park

Referring to the 'New Open spaces for our community' webpage, is the design work on the 218 Railway Parade, Noble Park site still planned to commence in 2022/23 and if so in what month is the consultation expected to occur?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

The work currently scheduled for the future open space site at 218 Railway Parade in Noble Park in 2022/23 will involve the demolition of the building onsite and the planting of grass throughout. This will allow the site to be used for open space by the community for an interim period while the design work for the ultimate outcome is completed. The dates for the demolition work and grass planting will be established in the new financial year, once the due diligence work and tendering for the demolition is complete.

In terms of undertaking the work for the ultimate outcome for this site, this work is not funded for 2022/23 financial year and rather a further submission for funding will be undertaken for the financial year of 2023/24. Community consultation will occur once the future works are funded and a draft design has been completed. As part of the wider update of the webpage, as I referred to in my previous answer, we will also update the status of this future open space as part of that work.

3 QUESTION TIME - PUBLIC (Cont.)

Question

Tamara Kojic, Dandenong

I have been checking the Dandenong Community Hub page on the Greater Dandenong website regularly and it has had "Finalisation of business case and concept plans - Under Review" for six months now. In what month this year are the concept designs going to be finalised?

Response

Tilla Buden, Actor Community Services

Council has requested that the additional concept plans for the Dandenong Community Hub be developed featuring alternative layouts to the concept plan released for public comment in 2021. This work includes a detailed cost analysis of all alternative layouts in order to gain an understanding of the expected cost of all options being considered. The timeframe for delivery of this work has been adjusted accordingly. As soon as this work is completed and the project moves to further consultation and detailed design, the project page of the website will be updated and all stakeholders will be advised.

Question

Claire Alvarez, Dandenong

When is the new consultation on the re-development of Foster Street, Dandenong going to occur given the last one was short and not well promoted?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I can advise that the proposal was not a Council-led consultation process. It was undertaken by Development Victoria along with Capital Alliance. Based on previous comments we have received from the community with regards to the short nature and type of consultation undertaken, we have written to both Development Victoria and Capital Alliance outlining those concerns however, we are yet to hear back with regards to any response or any further consultation that those parties may undertake.

Question

Gaye Guest, Keysborough

Pointing out all things roads, Corrigan Road has become a patchwork quilt with all the digging and repairing to underground services as has Chapel Road in Keysborough where new road surfaces are constantly being cut into because whatever work has been done prior, it seems the work is not up to standard and in go the tunnels again to fix or repair the problems. Road surfaces are becoming muddy around these development sites. Why are the contractors not made to clean the roads? In Wairoonga Avenue at the intersection of Bloomfield Road in Keysborough, too many cars are now parking on either side of Wairoonga Avenue. They are a hazard at this blind corner when turning into Wairoonga Avenue. What can be done to make this area safe for all traffic, cars and pedestrians by insisting cars park on their own properties and not on both sides of the street?

3 QUESTION TIME - PUBLIC (Cont.)

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Due to the detailed nature of the question we will have to respond once we have undertaken a number of inspections. I have asked the officers to inspect Corrigan Road and Chapel Road for an understanding of the condition on that road and also asked the Traffic Engineers to look at traffic and pedestrian issues on the other roads that have been raised. We will then if necessary, follow up with the developers as well as other agencies such as South East Water. Unfortunately, there are times where these other developers or agencies do damage and dig up Council roads and we are left with issues that we are not necessarily happy with but there may be ways that we can address those with the developers in those streets.

Question

Gaye Guest, Keysborough

Our democratic rights are being eroded and it is un-Australian! While residents have the opportunity to submit to C224g or C233g, there should be no correspondence being dealt with between the State Government and Council staff, Directors or Councillors, nor PLNs on the application register. This smacks that public consultation is a farce. The proposed towers will become the new tenement housing of the future where investors will buy up and renters will be subjected to inferior living conditions right next to a railway line where every 10 minutes trains and freight trains will be commuting and directly opposite on an extremely bad corner another dense proposal is on the table. To reduce parking allocations for these dense builds by 66% to allow more apartments is just ludicrous and where the planning scheme lets residential amenity and neighbourhood character down. Noble Park does not warrant any "Capital Alliance" type buildings on or near any of its heritage buildings. Noble Park is not on a significant waterway nor major arterial roads and needs a more sensitive approach to any future developments, where building heights should be restricted to four storeys only. A village suburb is potentially going to be turned into a ghetto through lack of real consultation and back room deals. Why is Council not fighting to preserve this suburb and not blame the State Government for this when you are actively engaging in the conversations?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

The question appears to relate to two separate matters.

The first of these matters relating to the Planning Scheme Amendment C224, which seeks to incorporate the adopted Noble Park Activity Centre Structure Plan into the planning scheme. This amendment is currently on exhibition until 24 June this year. The purpose of this amendment is to ensure that the improved guidance that the adopted structure plan provides will be able to be considered in future planning applications for this area. This matter is a Council led process.

In terms of listening to and considering community feedback through this process, when the now adopted structure plan was in development, significant community consultation occurred. As a result of the feedback received, the heights were reduced for key redevelopment sites to better reflect the views of the community. Council is now seeking further comments regarding incorporating this adopted structure plan into the planning scheme and will again consider all relevant submissions.

3 QUESTION TIME - PUBLIC (Cont.)

The second matter referred to relates to a proposed combined planning scheme amendment and planning permit application for the development of a six-storey building at 51A Douglas Street in Noble Park, which abuts the railway station. This matter is a DELWP project and is also now on public consultation until 1 July 2022. Council officers are currently reviewing the proposal and intend to make a detailed submission. I would also encourage any members of the public to do the same if they have any comments to make on either the structure plan planning scheme amendment, or the proposed development at 51A Douglas Street.

4 OFFICERS' REPORTS - PART TWO

4.1 OTHER

4.1.1 Community Partnerships Funding and Sponsorship Grants

File Id:	A8714980
Responsible Officer:	Director Community Services
Attachments:	Building-Capacity Grants 2022 Strategic Project Grants 2022 Sponsorships 2022

1. Report Summary

Council provides fit-for-purpose funding programs that support capacity-building of important local services, support the delivery of projects that help achieve Councils Plans and Strategies, and provide social and economic benefit to the City of Greater Dandenong.

This report outlines the assessment of applications submitted to three grant categories under the Community Partnership Funding and Sponsorship Program:

- Building Capacity Grants
- Strategic Project Grants
- Sponsorships.

All applications have been checked for eligibility by Council Officers and assessed by independent Community Grants Assessment Panels. The applications recommended for funding are presented in this report.

2. Recommendation Summary

This report recommends that Council endorse the recommendations for Community Partnership Funding and Sponsorship Program as outlined in Attachments to this report.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

3. Background and Discussion

On 25 March 2019 Council endorsed a principles-based Community Partnership Funding and Sponsorships Program. The program complies with the requirements of an external audit and was informed by significant community consultation.

The program contains three grant categories:

1. Building-Capacity Grants
2. Strategic Project Grants
3. Sponsorships.

The Community Partnership Funding and Sponsorships Program opened for applications from 31 January to 28 February 2022.

The round was widely publicised via Council e-newsletters, regular mailouts to past grant applicants, local newspapers, council community networks, and a series of stories that promoted successful projects to advertise the round on Council's social media channels.

Council officers conducted four information sessions to provide potential applicants information of the grants' categories and application process. Due to COVID-19 these were held online.

Interested organisations were provided access to Council officer support for one-on-one meetings in and out of regular office hours. Past applicants were also provided feedback on their previous applications to assist improved future applications. Applicants were also connected with relevant Council technical officers for specific advice on their proposals.

3.1 Community Grants Assessment Panels

Community Grants Assessment Panels included councillors, community representatives, and council officers with broad experience and diverse knowledge.

Panels members are governed by a Terms of Reference and a signed Code of Conduct. Each member has completed a grants induction process, with Council officers available to support throughout the process.

For each grant category eight individual panel members were tasked to complete an initial online assessment, and these assessment scores were then consolidated and presented to a scheduled panel meeting for qualitative discussion and final recommendations.

3.2 Building-Capacity Grants

This grant category offers one-off grants of up to \$50,000 per year for up to three years of funding to support locally based organisations to grow and/or become sustainable.

A total of four applications were submitted to the Building Capacity Grants category. Two applications were ruled ineligible due to not meeting eligibility criteria.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

This left a total of two applications to be assessed, seeking total funding of \$105,000 over three years.

The Community Grants Assessment Panel individually assessed applications online between 23 March – 5 April. The panel convened online to qualitatively discuss the consolidated applications and make final recommendations on 11 April 2022.

At the Councillor Briefing Session of 16 May 2022, Councillors reviewed the Community Grants Assessment Panel recommendations of funding. Following this it is recommended that 1 application be funded to a total amount of \$45,000 from financial year 2022-23 to 2024-25.

A list of the applications recommended for funding through the Building Capacity Grants category is provided in Attachment One.

3.3 Strategic Project Grants

This grant category offers grants of up to \$80,000 per year for up to two years of funding to support self-identified projects, initiatives and activities that contribute to achieving priorities and actions within the City of Greater Dandenong plans and strategies.

A total of 32 applications were submitted to Strategic Project Grants category seeking total funding of \$3,578,906 over two years. No applications were ruled ineligible or withdrawn.

The Community Grants Assessment Panel individually assessed applications online between 23 March – 11 April. The panel convened to qualitatively discuss the consolidated applications and make final recommendations on 12 April 2022.

At the Councillor Briefing Session of 16 May 2022, Councillors reviewed the Community Grants Assessment Panel recommendations for funding. Following this it is recommended that 20 applications be funded to a total amount of \$2,570,218 from financial year 2022-23 to 2023-24.

A list of all applications recommended for funding through the Strategic Project Grants category is provided in Attachment Two.

3.4 Sponsorships

Sponsorships offers grants of up to \$40,000 per year for up to two years of funding to support organisations and activities that create social and/or environmental benefit, and significantly contribute to the image of the city and/or create economic benefit.

A total of nine applications were submitted to the Sponsorships Program seeking total funding of \$450,190 over two years. No applications were ruled ineligible or withdrawn.

The Community Grants Assessment Panel individually assessed applications online between 23 March – 5 April. The panel convened to qualitatively discuss the consolidated applications and make final recommendations on 7 April 2022.

At the Councillor Briefing Session of 16 May 2022, Councillors reviewed the Community Grants Assessment Panel recommendations for funding. Following this it is recommended that nine applications be funded to a total amount of \$372,000 from financial year 2022-23 to 2023-24.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

A list of all applications recommended for funding through Sponsorships program is provided in Attachment Three.

4. Proposal

It is proposed that Council endorse the recommendations as shown in Attachments One, Two and Three for funding through the following programs:

- Attachment One – Building-Capacity Grants 2022
- Attachment Two – Strategic Project Grants 2022
- Attachment Three – Sponsorships 2022.

For the Building-Capacity Grants 2022 there is one application recommended for funding for financial year 2022-23 to 2024-25 as listed in Attachment One.

For the Strategic Project Grants 2020 there are twenty applications recommended for funding for financial year 2022-23 to 2023-24 as listed in Attachment Two.

For the Sponsorships 2020 there are nine applications recommended for funding for financial year 2022-23 to 2023-24 as listed in Attachment Three.

5. Financial Implications

The funding recommendations made in this report can be achieved within the budgetary parameters of the 2022-23 Community Partnership Funding Program and Sponsorships budgets.

The total available funding from the Community Partnerships Funding Budget for 2022-23 is \$1,405,771. A total of \$1,304,034 has been allocated from this budget, comprising:

- \$15,000 allocated to one Building Capacity Grant application
- \$1,289,034 allocated to 20 Strategic Project Grant applications.

This leaves an underspend of \$101,737 in the 2022-23 Community Partnerships Funding Budget.

The total available funding from the Sponsorships Budget for 2022-23 is \$217,602. A total of \$188,500 has been allocated from this budget, leaving an underspend of \$29,102.

Funding for the 2023-24 and 2024-25 financial years is incorporated into the Long Term Financial Strategy.

6. Consultation

During the assessment process Council Officers consulted with staff from across the organisation to seek information and advice regarding the merits of all funding applications.

Officers conducted extensive eligibility checks of applications including compliance documentation, financial reports, past grants acquittal history and other matters where relevant.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

All eligible applications were assessed by Community Grants Assessment Panels. Panels included councillors, community representatives who submitted expressions of interest, and council officers with broad experience and diverse knowledge.

Community Grants Assessment Panel's recommendations of all eligible applications were presented at a Councillor Briefing Session on 16 May 2022 for consideration. Following this, the recommended funding allocations (attached) are presented for endorsement.

7. Community Vision 2040 and Council Plan 2021-25 – Strategic Objectives, Strategies and Plans

After consultation with the Greater Dandenong community on what kind of future they wanted for themselves and our city, the Greater Dandenong People's Panel developed a new Community Vision for 2040:

*The City of Greater Dandenong is a home to all.
It's a city where you can enjoy and embrace life through celebration and equal opportunity.
We harmonise the community by valuing multiculturalism and the individual.
Our community is healthy, vibrant, innovative and creative.
Our growing city is committed to environmental sustainability.
Welcome to our exciting and peaceful community.*

7.1 Community Vision 2040

This report is consistent with the Community Vision 2040 and its accompanying principles:

- Safe and peaceful community.
- Education, training, entrepreneurship and employment opportunities.
- Embrace diversity and multiculturalism.
- Mind, Body and Spirit.
- Art and Culture.

7.2 Council Plan 2021-25

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following strategic objectives:

- A socially connected, safe and healthy city.
- A city that respects and celebrates diversity, our history and the arts.
- A city of accessible, vibrant centres and neighbourhoods.
- A city that supports entrepreneurship, quality education and employment outcomes.
- A Council that demonstrates leadership and a commitment to investing in the community.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

8. The Overarching Governance Principles of the *Local Government Act 2020*

Applications to the Community Partnerships Funding and Sponsorship Programs were assessed by an independent Community Grants Assessment Panel including councillors, community representatives and council officers with broad experience and diverse knowledge.

Panel members assess grants against specific criteria for each grant category as listed in the grand guidelines. These criteria ensure grants align with Council's Community Vision and Council Plan. Qualitative discussion of applications ensured that Council funds are prudently allocated to deliver responsive outcomes at good value for the community.

The assessment process ensures that grants are assessed in compliance with overarching governance principles of the *Local Government Act 2020*.

9. Victorian Charter of Human Rights and Responsibilities

Council, Councillors and members of Council staff are a public authority under the *Charter of Human Rights and Responsibilities Act 2006* and, as such, are all responsible to act in accordance with the *Victorian Charter of Human Rights and Responsibilities 2006* (the Charter).

The *Charter of Human Rights and Responsibilities Act 2006* has been considered in the preparation of this report but is not relevant to its contents.

10. The Gender Equality Act 2020

The *Gender Equality Act 2020* came into operation on 31 March 2021 and requires councils to take positive action towards achieving workplace gender equality and to promote gender equality in their policies, programs and services.

The Community Partnership Funding and Sponsorships Programs aim to deliver outcomes that align with Council's plans and strategies, improve non-profit capacity including board diversity, and deliver activities that are open and accessible for the entire community.

Grant Assessment Panels are formed with an aim to represent the diversity of the community.

11. Consideration of Climate Change and Sustainability

One of the overarching governance principles of the *Local Government Act 2020* is that the economic, social and environmental sustainability of the municipal district, including mitigation and planning for climate change risks, is to be promoted.

In January 2020, this Council joined a growing number of cities around Australia and declared a "Climate and Ecological Emergency" and committed this Council to emergency action on climate change. Council has developed a Climate Change Emergency Strategy and Action Plan 2020-30 to help the City of Greater Dandenong become a resilient, net zero carbon emission city with an active community prepared for the challenges of changing climate.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

The Community Partnership Funding and Sponsorship Programs explicitly encourages submission of applications that achieve environmental and sustainability outcomes.

12. Related Council Policies, Strategies or Frameworks

- Council Plan 2021-25
- Imagine 2030 Community Plan
- Children's Plan 2021-26.
- Disability Action Plan 2017-23
- Community Safety Plan 2015-22
- Greater Dandenong People Seeking Asylum and Refugee Action Plan 2018-21
- Make Your Move Physical Activity Strategy 2020-2030
- Reconciliation Action Plan 2021-23
- Youth and Family Strategy 2021-26.

13. Conclusion

This report contains the recommendations for funding to the Community Partnership Funding and Sponsorship Programs.

These recommendations are presented to Council for endorsement.

14. Recommendation

That Council endorses the funding recommendations as detailed in:

- 1. Attachment One - Building Capacity Grants for allocation of a total of \$45,000 for the financial years 2022-23 to 2024-25;**
- 2. Attachment Two - Strategic Project Grants for allocation of a total of \$2,570,218 for the financial years 2022-23 to 2023-24; and**
- 3. Attachment Three - Sponsorships for allocation of a total of \$372,000 for the financial years 2022-23 to 2023-24.**

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

MINUTE 478

Moved by: Cr Rhonda Garad
Seconded by: Cr Angela Long

That Council endorses the funding recommendations as detailed in:

- 1. Attachment One - Building Capacity Grants for allocation of a total of \$45,000 for the financial years 2022-23 to 2024-25;**
- 2. Attachment Two - Strategic Project Grants for allocation of a total of \$2,570,218 for the financial years 2022-23 to 2023-24; and**
- 3. Attachment Three - Sponsorships for allocation of a total of \$372,000 for the financial years 2022-23 to 2023-24.**

CARRIED
(CR TIM DARK ABSTAINED FROM VOTING ON THIS ITEM).

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

OTHER

**COMMUNITY PARTNERSHIP FUNDING AND
SPONSORSHIP GRANTS**

ATTACHMENT 1

BUILDING-CAPACITY GRANTS 2022

PAGES 2 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

Building-Capacity Grants 2022

Recommended Applications

Applicant Name	Project Title	Total Recommendation	2022/23	2023/24	2024/25
Forum on Australia's Islamic Relations Inc.	Good Governance Gets the Goose	\$45,000	\$15,000	\$15,000	\$15,000
1 application		\$45,000	\$15,000	\$15,000	\$15,000

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

OTHER

**COMMUNITY PARTNERSHIP FUNDING AND
SPONSORSHIP GRANTS**

ATTACHMENT 2

**STRATEGIC PROJECT GRANTS
2022**

PAGES 3 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

Strategic Project Grants 2022

Recommended Applications

Applicant Name	Project Title	Total Recommendation	2022/23	2023/24
Asylum Seeker Resource Centre	Refugee Resource Hub FoodBank and Community Kitchen	\$160,000	\$80,000	\$80,000
Concern Australia Welfare	Hand Brake Turn - A Vehicle for Change	\$160,000	\$80,000	\$80,000
Cornerstone Contact Centre Inc.	Community Connection Pathways for Migrants and Asylum Seekers	\$40,000	\$20,000	\$20,000
Friends of Refugees Inc	Job skills training and work experience for people seeking asylum	\$159,288	\$79,644	\$79,644
Friends of Refugees Inc	Centre of specialised learning and support for people seeking asylum	\$120,000	\$60,000	\$60,000
Keysborough Learning Centre	Re-connecting & Re-engaging Senior Communities post COVID	\$80,000	\$40,000	\$40,000
Noble Park Community Centre (NPCC)	Staying connected by removing barriers for People with Disabilities	\$60,000	\$30,000	\$30,000
Noble Park Community Centre Inc (NPCC)	Resource Development through empowering Vulnerable Communities to Volunteer	\$60,000	\$30,000	\$30,000
North Dandenong Neighbourhood House	Re-engaging Community with North Dandenong Neighbourhood House	\$155,000	\$80,000	\$75,000
Nourish DBC Ltd	The Nourish Sanctuary: A Safe Space for CALD Communities	\$60,000	\$30,000	\$30,000
SisterWorks Inc.	From Community Connectedness to Employment Pathways	\$160,000	\$80,000	\$80,000
South East Community Links	"Y-ACE project" - Youth: Active, Connected and Engaged	\$160,000	\$80,000	\$80,000
South East Community Youth Links	"Women: Safe and Equal" project	\$160,000	\$80,000	\$80,000
South East Volunteers	Disability Inclusive Volunteering	\$116,930	\$59,890	\$57,040

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

Applicant Name	Project Title	Total Recommendation	2022/23	2023/24
South-east Monash Legal Service	Mothers Legal Help	\$160,000	\$80,000	\$80,000
Springvale Learning and Activities Centre Inc	Building up youth participation in programs and governance	\$160,000	\$80,000	\$80,000
Springvale Learning and Activities Centre Inc	Styling Up the Confidence - providing work clothing, interview preparation.	\$160,000	\$80,000	\$80,000
Springvale Neighbourhood House	Returning to Community: culturally safe, accessible & supportive services	\$143,000	\$71,500	\$71,500
Springvale Neighbourhood House	Making Getting Connected Easier for Socially-Isolated Residents across Greater Dandenong	\$136,000	\$68,000	\$68,000
Wellsprings for Women	Pathways to Recovery	\$160,000	\$80,000	\$80,000
20 applications		\$2,570,218	\$ 1,289,034	\$ 1,281,184

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

OTHER

**COMMUNITY PARTNERSHIP FUNDING AND
SPONSORSHIP GRANTS**

ATTACHMENT 3

SPONSORSHIPS 2022

PAGES 2 (including cover)

4.1.1 Community Partnerships Funding and Sponsorship Grants (Cont.)

Sponsorships 2022

Recommended Applications

Applicant Name	Project Title	Total Recommendation	2022/23	2023/24
City of Greater Dandenong Band	City of Greater Dandenong Band	\$ 50,000	\$ 25,000	\$ 25,000
Dandenong Agricultural & Pastoral Society Inc	150th Show and 151st show	\$ 75,000	\$ 40,000	\$ 35,000
Noble Park Community Centre Inc	Noble Park Community Art Show	\$ 30,000	\$ 15,000	\$ 15,000
Springvale Asian Business Association Inc	2023 Springvale Annual Lunar NewYear Festival	\$ 70,000	\$ 35,000	\$ 35,000
Springvale Neighbourhood House	Springvale Harmony Festival: We Are One But We Are Many	\$ 30,000	\$ 15,000	\$ 15,000
Southern Dance Festival	Southern Dance Festival	\$ 17,000	\$ 8,500	\$ 8,500
Southern Waters Ski Show Team	On Community Water Ski Show	\$ 10,000	\$ 5,000	\$ 5,000
Victorian Afghan Associations Network	The Nawroz Festival 2023	\$ 30,000	\$ 15,000	\$ 15,000
Vietnamese Community in Australia - VIC Chapter	TET 2023-2024 Lunar New Year Festival	\$ 60,000	\$ 30,000	\$ 30,000
9 applications		\$372,000	\$188,500	\$183,500

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022

File Id:

Responsible Officer:

Director Community Services

Attachments:

Draft Minutes of Positive Ageing Advisory
Committee on 14 April 2022

1. Report Summary

At the Council meeting held 23 April 2018, Council resolved in part to *invite Advisory Committees and Reference Groups to submit meeting minutes for Council endorsement*. This resolution also allowed interested Councillors (and those that attend these Committees and Reference Groups) to speak to the meeting about items discussed at these meetings.

2. Recommendation Summary

This report recommends that the draft Minutes of the Positive Ageing Advisory Committee meeting provided in Attachment 1 to this report be noted and endorsed by Council.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

3. Background and Proposal

Greater Dandenong Council is represented on a wide range of Committees, Reference Groups and Advisory Groups which frequently reflect the interests of individual Councillors in serving the broader community in their role. A full listing of these appointments is confirmed each November at Council's Annual meeting to elect the Mayor and Deputy Mayor and is available via Council's website.

The resolution of Council made on 23 April 2018 provides for Minutes of meetings held by Advisory Committees and Reference Groups to be submitted to Council for information purposes, for noting and for endorsement (not adoption).

As such, the draft Minutes are provided as Attachment 1 to this report.

There are no financial implications associated with the development and submission of this report.

4. Community Vision 2040 and Council Plan 2021-25 – Strategic Objectives, Strategies and Plans

After consultation with the Greater Dandenong community on what kind of future they wanted for themselves and our city, the Greater Dandenong People's Panel developed a new Community Vision for 2040:

*The City of Greater Dandenong is a home to all.
It's a city where you can enjoy and embrace life through celebration and equal opportunity.
We harmonise the community by valuing multiculturalism and the individual.
Our community is healthy, vibrant, innovative and creative.
Our growing city is committed to environmental sustainability.
Welcome to our exciting and peaceful community.*

4.1 Community Vision 2040

This report is consistent with the Community Vision 2040 and its accompanying principles:

- Safe and peaceful community.
- Education, training, entrepreneurship and employment opportunities.
- Sustainable environment.
- Embrace diversity and multiculturalism.
- Mind, Body and Spirit.
- Art and Culture.

4.2 Council Plan 2021-25

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following strategic objectives:

- A socially connected, safe and healthy city.
- A city that respects and celebrates diversity, our history and the arts.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

- A city of accessible, vibrant centres and neighbourhoods.
- A green city committed to a sustainable future.
- A city that supports entrepreneurship, quality education and employment outcomes.
- A Council that demonstrates leadership and a commitment to investing in the community.

5. The Overarching Governance Principles of the *Local Government Act 2020*

Section 9 of the *Local Government Act 2020* (LGA2020) states that a Council must in the performance of its role give effect to the overarching governance principles.

The establishment of the Positive Ageing Advisory Committee and the work that it undertakes gives particular consideration to the following overarching governance principles:

- priority is given to achieving the best outcomes for the municipal community, including future generations (section 9(b) of the LGA2020);
- the municipal community is engaged in strategic planning and strategic decision making – many advisory committees and reference groups have community members as participants (section 9(d) of the LGA2020);
- innovation and continuous improvement is pursued (section 9(e) of the LGA2020);
- collaboration with other councils, governments and statutory bodies is sought – many advisory committees and reference groups have representatives attending from these organisations (section 9(f) of the LGA2020);
- the ongoing financial viability of Council is ensured (section 9(g) of the LGA2020);
- regional, state and national plans and policies are taken into account in strategic planning and decision making – diverse representation within these groups ensures this occurs (section 9(h) of the LGA2020); and
- the transparency of Council decisions, actions and information is ensured by this regular reporting mechanism (section 9(i) of the LGA2020).

6. Victorian Charter of Human Rights and Responsibilities

All matters relevant to the Victorian Charter of Human Rights and Responsibilities have been considered in the preparation and are consistent with the standards set by the Charter.

7. The *Gender Equality Act 2020*

The *Gender Equality Act 2020* came into operation on 31 March 2021 and requires councils to take positive action towards achieving workplace gender equality and to promote gender equality in their policies, programs and services.

Council's Diversity, Access and Equity Policy and the *Gender Equality Act 2020* have been considered in the preparation of this report but are not relevant to its contents because it is a reporting mechanism only.

The report does not have the potential to influence broader social norms and gender roles nor does it benefit any one gender group over any other.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

8. Consideration of Climate Change and Sustainability

One of the overarching governance principles of the *Local Government Act 2020* is that the economic, social and environmental sustainability of the municipal district, including mitigation and planning for climate change risks, is to be promoted.

In January 2020, this Council joined a growing number of cities around Australia and declared a “Climate and Ecological Emergency” and committed this Council to emergency action on climate change. Council has developed a Climate Change Emergency Strategy and Action Plan 2020-30 to help the City of Greater Dandenong become a resilient, net zero carbon emission city with an active community prepared for the challenges of changing climate.

This report has no impact on Council’s Declaration on a Climate and Ecological Emergency, Council’s Climate Change Emergency Strategy 2020-2030 or the requirements of the *Local Government Act 2020* in relation to the overarching governance principle on climate change and sustainability because it is purely administrative in nature and is a reporting mechanism only.

9. Recommendation

That Council notes the draft Minutes of meeting for the Positive Ageing Advisory Committee as provided in Attachment 1 to this report.

MINUTE 479

Moved by: Cr Richard Lim OAM

Seconded by: Cr Angela Long

That Council notes the draft Minutes of meeting for the Positive Ageing Advisory Committee as provided in Attachment 1 to this report.

CARRIED

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

OTHER

**DRAFT MINUTES OF POSITIVE AGEING ADVISORY COMMITTEE
MEETING**

ATTACHMENT 1

**POSITIVE AGEING ADVISORY
COMMITTEE MEETING
HELD ON 14 APRIL 2022**

PAGES 5 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

Advisory Committee or Reference Group Name: Positive Ageing Advisory Committee

Date of Meeting: 14 April 2022

Time of Meeting: 1.30-3.30pm

Meeting Location: Springvale Community Hub
 5 Hillcrest Grove, Springvale
 Community Rooms 6

Also via Microsoft Teams

Attendees:

Committee: Julie Klok (Chair), Maria Erdeg, Carol Drummond, Christine Green

Council Officers: Mandy Gatliff, Jayne Kierce, Jenny Vong (minute taker)

Apologies: Erica Moulang, Morrie Hartman, Cr Sophie Tan, Tracey Macleod

Minutes:

Item No.	Item	Action	Action By
1.	Welcome and Introductions Welcome from the Chair		
2.	<p>Previous Minutes & Business Arising</p> <ul style="list-style-type: none"> February minutes were accepted – moved Maria Erdeg and seconded Carol Drummond Apologies noted <p>The Manager of Community Care informed the Committee that there will be an article on promoting social connection in Council's News magazine in the coming months.</p> <p>Discussion was had on where to distribute brochures on elder abuse would be. Community meeting places such as Seniors clubs, libraries, neighbourhood houses and GP surgeries were some of the suggestions</p> <p>The next Positive Ageing newsletter has been delayed due to staffing challenges caused by a mix of staff vacancies and a high number of staff isolating due to COVID. The next edition being distributed will be the Winter edition in June.</p>	Circulate first Positive Ageing Newsletter to Committee	Community Care Business Support Officer
3.	<p>Update on new programs in CGD to encourage older residents to get their COVID booster shots</p> <p>Discussion was held on how to encourage vaccination doses for people aged 60 and over including:</p>		

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

	<ul style="list-style-type: none"> - Information and promotion in community languages in simple and easy to understand - Distributed in several communication channels including community groups, Council resources, local shops, libraries - Disability Liaison Officers (DLOs) help people with a disability access vaccinations through assistance with booking, in home vaccination, advice and transport support. <p>The Manager Community Care advised the Committee that Council has been successful in attaining a grant for \$60,000 for the Community Liaison Officer program to extend the individualised support available to community members that face barriers to get vaccinated.</p> <p>Two COVID-19 vaccination booster infographic flyers were presented to the Committee for feedback.</p> <p>Feedback will help CGD design a flyer to help encourage our older residents to consider getting their booster given the uptake in our municipality is lower than the state average.</p>	<p>Finalise COVID-19 booster flyer and organise mailout to clients</p>	<p>Manager Community Care</p>
<p>4.</p>	<p>Discussion on the “Ageing well in a changing world” report by the Commissioner for Older Victorians Gerard Mansour</p> <p>The Coordinator Community Access provided an overview on the summary report of the <i>Ageing Well in a Changing World</i> report, which outlines feedback from the senior Victorians and their thoughts on what it means to ‘age well’.</p> <p>From community consultations and online surveys, eight key attributes of ageing well from the perspective of an older person were identified including:</p> <ol style="list-style-type: none"> 1. A positive attitude 2. Life has purpose and meaning 3. Respected and respectful 4. Connected to family, friends and society 5. In touch with a changing world 6. Safe and secure at home and financially 7. Able to manage health issues including mental health 8. Able to get around <p>The report supports our priorities and actions in our Positive Ageing Strategy. The Committee discussed several initiatives including:</p> <ul style="list-style-type: none"> - Running of smaller social group programs such as morning teas or dances - Organising programs during the year, not just in Seniors’ Week - Providing hybrid programs both face to face and online 	<p>Design and implementation of smaller group activities throughout the year</p>	<p>Positive Ageing Team Leader</p>

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

	<ul style="list-style-type: none"> - Affordable activities - Friendship club where you can meet new people and make new friends - Chatty café program which aims to get people chatting to build and encourage social connections within the local community, and to help reduce social isolation and loneliness 		
5.	<p>Discussion regarding the mid-point review of the CGD Positive Ageing Strategy The Positive Ageing Strategy 2017-25 has reached its midway point. The review process will include achievements to date, identify opportunities and focus for the remainder of the strategy to meet the needs of the Greater Dandenong community.</p> <p>The Coordinator Community Access provided some areas identified that require greater focus including:</p> <ul style="list-style-type: none"> - Promote ongoing consultation regarding Council initiatives and activities that impact on older people - Provide appropriate community transport options for eligible older people - Reduce loneliness and social isolation by promoting participation in community group programs - Increase volunteering opportunities 	<p>Draft the mid-point review and circulate to the Committee for feedback</p>	<p>Coordinator Community Access</p>
6.	<p>Update on Minderoo Climate Resilience Project The Manager Community Care provided an update on the Minderoo Climate Resilience Project through our membership in the South East Councils Climate Change Alliance (SECCCA).</p> <p>The project is funded by charitable organisation Minderoo and is intended to help our communities prepare for current and future changes to the climate. It leverages the outputs of the Asset Vulnerability Assessment project and intends to identify vulnerable communities and community assets, create a comprehensive data set based on climate modelling and risk, and trial solutions to protect these groups.</p>	<p>For noting</p>	
7.	<p>Other business: The Manager Community Care advised no further updates on the Aged Care reforms and the proposed new Support at Home Program has been provided.</p> <p>The Committee was reminded that expression of interest to re-join the Positive Ageing Advisory Committee closes on Friday 29 April.</p> <p>The Manager Community Care asked the Chair if</p>	<p>Provide updates to Committee members</p> <p>Complete expression of interest application</p> <p>Email list of SRSs to</p>	<p>Manager Community Care</p> <p>Committee members</p> <p>Chair</p>

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.2 Draft Minutes of Positive Ageing Advisory Committee Meeting - 14 April 2022 (Cont.)

	she had a list of Supported Residential Services (SRS) within the municipality. Committee member reminded everyone that the parking at the Springvale Community Hub is only 2 hours. All day street parking is available in the surrounding area.	Manager Community Care	
	Next Meeting Thursday 9 June		
Meeting Closed 3.11pm			

DRAFT

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.3 Leave of Absence - Cr Angela Long

File Id: A8782148
Responsible Officer: Manager Governance

1. Report Summary

Councillor (Cr) Angela Long requests a leave of absence from 1 July to 31 August 2022. This leave of absence is inclusive of the scheduled Council Meetings of 11 July, 25 July, 8 August and 22 August 2022.

2. Recommendation Summary

This report recommends that a leave of absence be granted to Cr Long for the period requested.

4.1.3 Leave of Absence - Cr Angela Long (Cont.)

3. Background

This report is submitted in conjunction with Council's Governance Rules which state that any Councillor may request a leave of absence in writing submitted to the Chief Executive Officer or Mayor and state the dates they require the leave and the reason for which it is sought.

Further, under section 35(4) of the *Local Government Act 2020*, Council must grant any reasonable request for leave.

The leave of absence will include the:

- scheduled Council Meetings of 11 July, 25 July, 8 August and 22 August 2022 and the Pre-Council Meetings before each of these;
- scheduled Councillor Briefing Sessions of 4 July, 18 July, 1 August and 15 August 2022; and
- any further Councillor Briefing Sessions or meetings organised during the requested period of absence.

This leave of absence is requested for personal reasons.

4. Financial Implications

There are no financial implications associated with this report.

5. The Overarching Governance Principles of the *Local Government Act 2020*

Section 9 of the *Local Government Act 2020* states that a Council must in the performance of its role give effect to the overarching governance principles. In relation to this report the following overarching governance principles have been considered:

- a. Council decisions have been made and actions taken in accordance with the relevant law; and
- b. the transparency of Council decisions, actions and information has been ensured.

6. Victorian Charter of Human Rights and Responsibilities

Council, Councillors and members of Council staff are a public authority under the *Charter of Human Rights and Responsibilities Act 2006* and, as such, are all responsible to act in accordance with the *Victorian Charter of Human Rights and Responsibilities 2006* (the Charter).

All matters relevant to the Victorian Human Rights Charter have been considered in the preparation of this report and are consistent with the standards set by the Charter.

7. The *Gender Equality Act 2020*

The *Gender Equality Act 2020* came into operation on 31 March 2021 and requires councils to take positive action towards achieving workplace gender equality and to promote gender equality in their policies, programs and services.

4.1.3 Leave of Absence - Cr Angela Long (Cont.)

Council's Diversity, Access and Equity Policy and the *Gender Equality Act 2020* have been considered in the preparation of this report but are not relevant to its contents. It is purely administrative in nature and does not have a direct impact on members of the Greater Dandenong community. A gender impact assessment is therefore not required.

8. Recommendation

That Council grants a leave of absence to Cr Angela Long for the period 1 July to 31 August (inclusive) which includes the Council Meetings of 11 July, 25 July, 8 August and 22 August 2022 and notes Cr Long's apology for each of those meetings.

MINUTE 480

Moved by: Cr Rhonda Garad
Seconded by: Cr Tim Dark

That Council grants a leave of absence to Cr Angela Long for the period 1 July to 31 August (inclusive) which includes the Council Meetings of 11 July, 25 July, 8 August and 22 August 2022 and notes Cr Long's apology for each of those meetings.

CARRIED

4.1.4 List of Registered Correspondence to Mayor and Councillors

File Id:	qA283304
Responsible Officer:	Manager Governance
Attachments:	Correspondence Received 16 May – 3 June 2022

Report Summary

Subsequent to resolutions made by Council on 11 November 2013 and 25 February 2014 in relation to a listing of incoming correspondence addressed to the Mayor and Councillors, Attachment 1 provides a list of this correspondence for the period 16 May – 3 June 2022.

Recommendation

That the listed items provided in Attachment 1 for the period 16 May – 3 June 2022 be received and noted.

MINUTE 481

Moved by: Cr Richard Lim OAM
Seconded by: Cr Rhonda Garad

That the listed items provided in Attachment 1 for the period 16 May – 3 June 2022 be received and noted.

CARRIED

4.1.4 List of Registered Correspondence to Mayor and Councillors (Cont.)

OTHER

**LIST OF REGISTERED CORRESPONDENCE TO
MAYOR AND COUNCILLORS**

ATTACHMENT 1

**CORRESPONDENCE RECEIVED
16 MAY – 3 JUNE 2022**

PAGES 3 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.1.4 List of Registered Correspondence to Mayor and Councillors (Cont.)



Correspondences addressed to the Mayor and Councillors received between 16/05/22 & 03/06/22 - for officer action - total = 3

Correspondence Name	Correspondence Dated	Date Record Created	Objective ID	User Currently Assigned
A request from a Springvale resident to remove an old English Oak tree in Ross Court Springvale.	16-May-22	16-May-22	fA245158	Mayor and Councillors EA
A request for Council's views from the Minister for Planning in relation to Amendment C233GDAN - Noble Park Integrated Development Opportunity.	22-May-22	27-May-22	fA246355	Mayor and Councillors EA
A request from the Keysborough Community Children's Centre Inc for a councillor to attend its Reconciliation Action Plan PD Staff Meeting on 20 June 2022.	01-Jun-22	01-Jun-22	fA246701	Mayor and Councillors EA

NB: Users assigned may have changed by the time of the Council Meeting. Correct at time of report production only.

4.1.4 List of Registered Correspondence to Mayor and Councillors (Cont.)



Correspondences addressed to the Mayor and Councillors received between 16/05/22 & 03/06/22 - for information only - total = 7

Correspondence Name	Correspondence Dated	Date Record Created	Objective ID	User Currently Assigned
A letter of acknowledgement from the Minister for Government Services in relation to the Mayor's request encouraging Victorian Public Services staff to return to government offices in Dandenong.	10-May-22	17-May-22		Mayor and Councillors EA
A letter from the Minister for Government Services advising of the Local Government Culture Project Insights Report.	16-May-22	19-May-22		Mayor and Councillors EA
A letter from the Mayor of Glen Eira City Council encouraging all Councils to adopt the working definition of antisemitism developed by the International Holocaust Remembrance Alliance.	11-May-22	16-May-22	A8756065	Mayor and Councillors EA
A letter from the Australian Local Government Association advising of the commitments it has secured for local governments in the lead up to the Federal Election.	17-May-22	19-May-22	A8768681	Mayor and Councillors EA
A letter from the Department of Home Affairs acknowledging the Mayor's letter of 22 March 2022 in relation to Australia's refugee and humanitarian policies.	13-May-22	23-May-22	A8777686	Mayor and Councillors EA
A comment from a resident regarding Council giving removed play equipment a second life overseas.	25-May-22	26-May-22	A8790191	Mayor and Councillors EA
A letter from the Minister for Local Government advising that the VAGO audit titled Fraud Control Over Local Government Grants was tabled in Parliament on 11 May 2022.	01-Jun-22	01-Jun-22		Mayor and Councillors EA

NB: Users assigned may have changed by the time of the Council Meeting. Correct at time of report production only.

5 NOTICES OF MOTION

Nil.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS

Question

Cr Sean O'Reilly

I have a question for the Acting Director of Planning but firstly if I can just give some context to it. A restaurant near the corner of Springvale Road and Balmoral Avenue applied for an alteration of their permit. They wanted to allow karaoke in the restaurant for special occasions or private bookings and it appears that they have been knocked back by this Council. I cannot confirm it but the reason that they say they were given was that the restaurant was too close to the residences in the No.8 complex. Given this Council at this very meeting has approved a full blown karaoke bar in Balmoral Avenue, Springvale, it is across the road from the No.8 residences, it does not make sense to me that nearby residents at the No.8 complex can warble something like Summer of 69 by Bryan Adams on their own karaoke machine in their own residence or their own apartment, but a restaurant that has done the right thing by applying for karaoke on their permit, appears to have been knocked back with no negotiation or compromise from Council. Not allowing karaoke in a Springvale restaurant is just like a pub with no beer so I ask the Acting Director of Planning, to firstly consider reviewing this decision. Secondly, more generally with both residential and commercial developments in Springvale and other activity centres, how will their needs regarding allowing noise, activity, the commercial interest versus the interests of residents that are living in the activity centre be balanced going forward in the context of Council encouraging Springvale's night-time activity?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

In terms of the specific planning application you are referring to, I will need to investigate and advise as to what exactly has occurred with regards to that application. What I can tell you is in principle we generally seek to support night-time activity in our activity centres, whether it be Springvale, Noble Park or Dandenong.

In terms of the second part of the question, with regards to balancing the needs of businesses who are seeking to undertake night-time activity versus protecting the amenity of residents, it is a balancing act. There are a number of legislative requirements under the new EPA Act which require businesses to meet certain noise stipulations at different times of night, so that controls some of the amenity impacts. On top of that, in terms of planning applications, we are also able to introduce a number of measures such as acoustic reports, patron management plans, alcohol management plans as part of any planning permit conditions, which will in addition to the EPA legislation, provide further controls around any detrimental impacts that may occur. We do want to promote some night-time activity in our activity centres but also being mindful we need to protect those residents as well.

Comment

Cr Eden Foster

Since our last meeting, I have been to a few events, one of them being the opening of the new Trade Institute of Victoria in Dandenong along with the Mayor. It is a great opportunity for increasing trade skills for local residents and further out it is a convenient location and I believe this is the owner's fifth site in Victoria. I was talking to one of the female students and it was fantastic to see more women

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

going into trade and strongly encouraging women out there looking for a career or a change in career to consider trade. She had nothing but praise for it and she is one of three so I think that is fantastic.

Also, I attended the Hemmings Street Precinct community consultation with the Mayor and Cr Garad. I love seeing the passion in our residents, they are passionate about the issues in that Hemmings Street precinct, particularly the proposed removal and replacement of trees. It was fantastic that they had that opportunity to voice their concerns with Council and Councillors present so thank you to Council for organising that.

I also attended the youth leaders meet and greet just the other week and I just want to acknowledge that we have some of our youth leaders here so thank you for coming tonight. It is great to see a lot of young people taking an interest in our community and hopefully future Councillors are in the room here.

I also attended the 60th Samoan Independence Day just yesterday. The Samoan community are so welcoming and the hospitality that they present is just amazing and I had a wonderful time at St James Hall here in Dandenong. I want to say a special thank you to the Samoan Community Advisory Council Victoria Incorporated for bringing it to Dandenong. I believe they have run their Independence Day celebrations in the western suburbs. We do have a strong Samoan community here in the south-east but I believe many came from the western suburbs as well and were really impressed with Dandenong itself. It was a great opportunity for them to see our municipality.

Question

Cr Eden Foster

I would also like to acknowledge a local resident Jessica Bagley, a Noble Park resident who won bronze last month in the International Boxing Association Women's Championship, which was held in Istanbul in Turkey. She was the only Australian who competed that won a medal and Jessica has been boxing since 2017, winning national championships in 2018 and 2019. It is great to see local women in sport and even better to see a woman from the City of Greater Dandenong and no less the suburb of Noble Park to win bronze. Could we please send a letter to Jessica acknowledging her wonderful achievement please?

Response

Cr Jim Memeti, Mayor

Happy to do that and it was a wonderful performance from Jessica.

Comment

Cr Eden Foster

Fantastic. Whilst we are on the topic of sport, I just thought I would congratulate the Socceroos on qualifying for the world cup. I think that was fantastic, very exciting for those who stayed up or maybe got up very early, it was great to see our team get through.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Comment

Cr Rhonda Garad

I just want to acknowledge our fantastic young ambassadors sitting with us today, a very impressive group of people. We had the pleasure of spending some time together and it is great to see them here. We look forward to seeing them as leaders in our community in the not too distant future.

I would also like to acknowledge our very own Sandra George who was nominated on the Queen's List for an OAM award. She is our Manager, Business Networking and what a fantastic acknowledgement that was for her.

I would also like to say I attended the Hemmings Street Tree consultation and it was fantastic to see the community so passionate about the environment so congratulations to the Council for listening. It is heartening that the decision to remove 71 trees continues to be put on hold and that Council has shown that they are listening to the community and working in participation with the community and it is really heartening to see that partnership come together.

Question

Cr Rhonda Garad

My first question is regarding an update on the Council's advocacy against the placement of a cemetery in Heatherton Road, Dandenong.

Response

John Bennie PSM, Chief Executive Officer

Council does continue to advocate very strongly against the proposal that we consider or the Council considers does not meet the community's fundamental expectations for improved hydrology, ecology, environmental, social and cultural benefits that might emerge from that particular site, that position is well known. In addition to that, as officers we have continued to engage with the proponent for the project, we have sought to highlight to the proponent Council's concerns and perhaps suggest that this is a proposal that should not proceed but the proponent has within their right, decided to not accept that position at this point in time. Council has also met with the landowner Melbourne Water and we are pleased to hear that Melbourne Water shares similar concerns to Council, as you would expect of the landowner and of the water authority in this area but Melbourne Water is obliged to give the proponent the appropriate opportunities to respond to their high level expectations again around hydrology, ecology, environment, social and cultural impacts.

Finally, we have engaged with DELWP at the regional level, who are not engaged at this stage because there is no live application, they would become involved if there was an application so in summary, can I just say that the advocacy against this proposal is continuing and that we are hearing from those that are in positions to consider it, that they share Council and the community's concerns.

Comment

Cr Rhonda Garad

Thank you, Mr Bennie and we look forward to the day that we hear officially from the trust that they are no longer pursuing that site.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Rhonda Garad

I have some questions relating to the Council's initiatives to reduce plastic:

- what are we doing this year to get involved in plastic free July; and
- what is the status of the rollout of Council's Plastic Policy?

With Council and community groups already planning events for spring and summer next year, they have all recently got a copy of our Plastics Policy and now have to follow it for events on public land. Is that correct?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

I can confirm that Council is running weekly community workshops during July to support plastic free July. With these workshops covering issues such as the problems with single use plastics, alternatives to single use plastics, details on Council's Plastic Use Policy and also what we know so far about the upcoming State Government ban on single use plastics. Promotion of these workshops will commence later this week. In addition, we are also looking to run a number of internal Council activities to promote plastic free July across staff and Councillors.

In terms of the rollout of Council's Plastics Policy, the implementation of this has been communicated to the community since May 2020. All event organisers for events on Council land are provided with information regarding the policy and organisers are required to demonstrate compliance with the policy as part of their application to Council. This will continue to be the case for events to occur next spring and summer and for all of those going forward. To further support organisers, Council staff are currently in the process of developing a set of resources to better help groups understand and adhere to the policy.

Question

Cr Rhonda Garad

I have some questions regarding the status of the following actions in the Dandenong Climate Emergency Action Plan, which were all meant to be completed by June 2021. Firstly, the fleet transition plan was meant to be complete to transition our fleet to the electric and other low emissions vehicles. Is this now complete and if not, when is it expected to be completed, and if it is finished, can the public have a copy?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

The work has been completed but we are intending to brief Council at the Councillor Briefing Session in early July. The question being, if that is satisfactory, putting it out to further discussion with the community as it is completed now but that is a decision that we will make at the CBS in early July.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Rhonda Garad

Can I confirm the transition plan is complete? Was that your response?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Yes, it is complete up to the point where it will then be presented to a CBS for further comment by Council.

Question

Cr Rhonda Garad

Another item that was meant to be finished was a climate change Community Engagement and Mobilisation Plan. As a community engagement plan, I imagine it will be made public to the community. What is the status and when can we have it on our website?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

Yes, work continues on the Community Engagement and Mobilisation Plan which unfortunately suffered some delays due to COVID. It is now currently intended to make this plan publicly available by the end of this calendar year.

Question

Cr Rhonda Garad

So we still have six, seven months to wait for that. Is that correct?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

That is correct, if we can do it sooner we will, but that is the aim at the moment, yes.

Question

Cr Rhonda Garad

What is the status and timeframes of the feasibility report on the options and timing of the accelerated phase out of natural gas from all Council facilities?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

The feasibility report and the options and timing for the accelerated phase out of gas from all Council facilities continues to be worked on. Again, this was unfortunately delayed due to COVID because of the inability to undertake site investigations during that COVID period. Work has commenced

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

though with regards to the desktop energy audit and site inspections will be conducted within the next month. It is then anticipated that the final report will be tabled for Council's consideration again by the end of this calendar year.

Comment

Cr Rhonda Garad

It is going to be a big finish to the year.

Question

Cr Rhonda Garad

We know that people with a disability are more vulnerable to extreme climate events for a range of factors such as housing and the need for transport. What Council plans are in place to make sure that people with a disability are supported in the event of extreme weather events?

Response

Tilla Buden, Acting Director Community Services

Council's Emergency Management Team maintains a vulnerable persons register in collaboration with Victoria Police so that in the case of an emergency, the residents on this register can be contacted to ascertain if they need any further assistance. In the case of a specific climate event that requires immediate action such as evacuation, Council would check our list of clients to identify those who may need greater assistance as well. A number of our community buses have wheelchair hoists and we have arrangements in place under our Emergency Management Plan that these can be called on for immediate assistance. More broadly, Council delivers a range of proactive public education approaches to support community emergency preparedness. Council is also taking part at the moment in the South East Councils Climate Change Alliance assessing community vulnerability to climate change project, which is being funded through the Minderoo Foundation. This project aims to enhance community resilience to the impacts of climate change and includes an assessment of community vulnerability to climate change and community resilience development to our projects too so that is one project to watch out for as well.

Question

Cr Rhonda Garad

My final question is the date for the Keysborough South Community Hub going out to tender.

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I can indicate as previously that we are aiming for the end of June. As soon as I have a particular date, or as soon as the tender goes out on our e-portal, which is the way that we now make these documents accessible, I can inform Councillors and all of Council at that time.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Comment

Cr Angela Long

I would also like to congratulate Sandra George on receiving an OAM in the Queen's Birthday list. I will personally congratulate Sandra at a breakfast meeting tomorrow morning which I will be attending.

These are some of the events that I have attended since my last formal meeting.

On 24 May 2022, I attended the DMPL meeting at the Dandenong Market.

On 27 May 2022, I attended the Reconciliation Week celebrations for school aged children at the fire pit at the Springvale Community Hub. That afternoon I attended the Reconciliation Celebrations for the youth also at the fire pit at the Springvale Community Hub.

On 6 June 2022, I attended the youth leaders meet and greet with youth ambassador Councillors and I am pleased to see them in the Gallery tonight.

On 7 June 2022, I attended via teams the Road Safe Advisory Committee meeting.

Comment

Cr Richard Lim OAM

On Sunday 29 May 2022, I organised the Buddhist Flower Ceremony with the Cambodian community. I would like to thank Mayor Jim Memeti, Cr Loi Truong and especially Mr John Bennie for attending that Flower Ceremony. It was a very successful event and we raised over \$150,000. This morning, I had a meeting with the Director of Monash Health Foundation and his staff who conveyed their thanks to the Cambodian community who have so far raised over \$700,000. Thank you to the Cambodian community and so many other communities who donated to the Monash Health Foundation.

On Monday 30 May 2022, I attended the Freedom Day Club with Mayor Cr Jim Memeti for their 14th Anniversary celebrations also attended by Mr John Wells, president of the Dandenong-Cranbourne RSL and also Mr Vladimir Nagorny of the Dandenong RSL.

On Monday 6 June 2022, I had a meeting with Ms Tilla Buden, Acting Director Community Services and also Jim Davine, Manager Community Development, in regard to homeless people and they seem to have no other solution. Hopefully we are going to have some solutions later on with regards to homelessness. My concern is that it is a very severe problem at the moment and I feel like they might do something bad to Springvale or worse. Later on, we met the Greater Dandenong youth leaders and the youth ambassadors. Thank you for coming today.

On Tuesday 7 June 2022, I had a meeting with the Springvale Community Hub committee, Clara Yip, Development Officer for the Hub and Sarah Hill, Community Precincts Strategic Operations Coordinator to discuss the Strategic Plan 2025 and also the Action Plan Renewal 2020-2022.

On Thursday 9 June 2022, I met with Mr Matt McNally, Communication Manager for Struber/MACA contractors for one of our regular meetings to discuss the Springvale Boulevard project. He provided an update that it is likely for the Springvale Boulevard to be completed around the end of July if not

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

earlier at the end of June which I am happy with. The Hon. Shaun Leane MP, Minister for Local Government who attended the Salvation Army Multicultural Launch event that the Mayor Jim Memeti and I also attended, was very happy and very impressed with the progress of the Springvale Boulevard project. The Minister will be visiting the Springvale Boulevard in the morning on Thursday 16 June 2022 with some local Members of Parliament.

On the same day, I met with Helen Beekmans, Economic Development Officer to discuss what we can do to assist with the issues raised by the business owners in Springvale, especially the street hot spots. Video clips will be provided to assist the business owners' requests. One of the issues raised was the street lights in front of a few shops and restaurants. Ms Beekmans would discuss with the business owners some ways that the Council may be able to assist such as training whether it is for free or paid by Council.

Question

Cr Richard Lim OAM

Regarding outdoor dining, two shops in Springvale recently had their outdoor dining equipment vandalised. Does the business owner pay for the damage or does Council have to pay for it and are we going to replace the equipment for them?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I understand those are the recent photos you sent through over the weekend. My understanding is that they were damaged by delivery trucks. We are undertaking some further work to identify whether they should be relocated some further distance away so that it does not happen in the future. I should have an update with regards to who pays but it is probably likely that Council will in this case if they are damaged by trucks with towbars.

Question

Cr Richard Lim OAM

The next question is regarding homeless people. Is there any possibility of talking to the State Government to place them in the big quarantine centres in Victoria or Darwin? I went to Darwin last year and I do not think that centre is used anymore. Can we send all the homeless people there to give them some home and shelter?

Response

John Bennie PSM, Chief Executive Officer

This is a very serious and sensitive matter that I do not think anyone is oblivious to. As I have indicated and Ms Buden has indicated and others have indicated, we are taking these matters extremely seriously. We consider the welfare of all of the individual homeless people above anything else, but we also recognise that these are matters that need to be addressed in all of our activities and it is not just Springvale. We are strategically and with a degree of urgency seeking to deal with all these matters, but we are doing so in the most sensitive and careful way that we possibly can. We hear the Councillor has suggestions, but we will always be guided by organisations who are expert in this field.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Richard Lim OAM

Going back to the outdoor dining furniture, if we are concerned about the cars reversing causing damage, can we change the carparks to parallel parking easily? I know we will end up losing some parking spaces but we have no other alternatives, especially when we do not know how long it will take to fix the multilevel carpark and concrete work. From my observation, they try to do something in one day and then they stop for one week and at the moment it is on hold. We have waited for two weeks already. Would the relevant officer please provide an update on construction?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

With regards to the first question, it would not be viable at this stage with regards to impact on traders to remove the parking and put parallel. The significant loss would be detrimental we would think to the centre itself. We may relocate some of the glass screens maybe a hundred millimetres further out, so we will investigate that, but we certainly would not want to be encouraging any loss of parking on street at this particular point. We think that is perhaps an overkill to what we would need to do.

With regards to the issue around the concrete, that is part of the Capital Works program that we are doing so I would have to take that element of the question on notice to go to the project manager and find out the details in the question.

Comment

Cr Richard Lim OAM

Just a final comment in support of the question raised by Cr O'Reilly regarding the karaoke at the Window Club at 12A Balmoral Avenue in Springvale. For months and months, they have been making a lot of noise and when the nearby residents complained to the EPA and to our Council, the response was, 'Oh, not my problem'. The same response came from the Police, 'Not my problem' and they did not turn up either. When they approached me, I decided to see the owner of the business personally. I asked him to put himself in those elderly people's shoes and he understood that so by about 9 or 10pm he reduced the volume of the music. The residents appreciated this and thanked me, a message I relayed back to the business owner. Rather than relying on EPA and the Police, if we as a Council can educate them on how to monitor the karaoke noise, if we can educate the business owners to reduce the noise volumes and close all the windows, I do not think there will be any issues about the noise.

Comment

Cr Sophie Tan

Firstly, I would like to share some great news. Thank you to our City Improvement Services in the Business, Engineering and Major Projects Directorate for their great work. They just completed the petanque court which is one of my Capital Work Program bids I submitted last Term. It is at Ross Reserve which is next to the Noble Park Community Centre. Great work so thanks for that and it is available to the public starting from today. If anyone does not know what petanque means, it is a French boules games similar to bowling.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Sophie Tan

My question for tonight is regarding the Leonard Avenue - Buckley Street Streetscape in Noble Park. Since the redevelopment consultation has been completed at the end of May, what is the next process on this project?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Usually after the consultation it would be the completion of the design and out to tender, but I will clarify dates and times and the process for you.

Question

Cr Sophie Tan

My next question is regarding the consultation for the C224G and C233G which is talking about the rezoning of the Noble Park Activity Centre, the amendment is for a proposal to rezone nine sites based on Noble Park Activity Centre structure plan. I believe the exhibition consultation will be closed on Friday 24 June 2022. Could you please provide the process after the exhibition and the timeline?

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

The steps after the exhibition period closes will be that officers will review all the submissions that are provided. We will then consider whether we need to make any change or recommend any changes as a result of that then we will bring a report back to Council. Council will ultimately determine the way forward, whether we need to seek a planning panel to hear any outstanding submissions that we cannot resolve, or whether we go directly to the Minister to get the planning scheme amendment gazetted so ultimately a Council report will come back to Councillors in the coming months.

Question

Cr Bob Milkovic

I have received a question from a resident regarding poor lighting along the Carlton Road, Dandenong North shops. I visited the other night and it is quite dim. May I have an update?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

We have just recently completed a raft of audits with regards to lighting, so it may be included in that. I will take that question on notice and advise.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Bob Milkovic

Have we as a Council formulated some sort of a plan regarding safety and homelessness issues in the City of Greater Dandenong as a whole? What approach we are going to take, a strategic approach or any approach at all between agencies? The situation is quite critical. As one of the employers from the businesses who is quite affected by this it is not improving. In the last two weeks there have been three incidents where the vast majority of the windows were smashed on two different occasions and the Dandenong Plaza was also vandalised. This is not sending a good picture about what Dandenong is and what it should be. How long will it take for Council and the government services agencies, the Police force and this is not directed at Council. I cannot remember the last time I have seen police officers walk down the streets of Dandenong. Can we ask the Police force to send some patrols to walk the streets? I have not seen any and I am in Dandenong every single day and I cannot remember the last time I have seen a police officer but for being stopped someone and issuing a speeding fine or whatever fine they are issuing? We need to address this and we need to address it fairly quickly before Dandenong starts going back to where it was five years ago which was dead.

Response

John Bennie PSM, Chief Executive Officer

I can only respond to the question really. I am not a spokesperson for the Victoria Police and cannot really respond to the later observations. As I think I have said on previous occasions and at briefings of Council, it is the former, not the latter. We do have a strategic approach in mind. We would not say that it is the strategic approach that should not be reviewed and modified and adjusted to suit the circumstances, but it is a strategic approach. It is certainly not an ad-hoc reactionary approach, albeit we do have knowledge that there are problems in our activity centres that need to be dealt with and dealt with as a matter of urgency. The problem becomes that there is a number of agencies that are involved in these matters. Principle among them in our view is the Victoria Police and the State Government through its various departments, but in addition, housing agencies and of course, Council has an important role to play as well. We have had numerous discussions and I am not in any way trying to send a message that there is too much talk and not enough action, but there are discussions that are being held between all agencies. The Mayor and I, this week are hoping to meet with the local member to bring to her attention the concern that this Council has about the current situation. We hope that through the local member we will be able to support us and separately approach Victoria Police organisations, housing organisations and the relevant State Government departments to come together, to work together, to deal with this. Hemmings Street is ongoing and it is a work in progress as has been indicated. That was an indication of a strategic response to specific issues experienced in Hemming Street. The ones that Cr Milkovic highlights are somewhat different, but they should still and could still be addressed in a strategic way. That is the way that we intend to go about it.

Comment

Cr Bob Milkovic

I wanted to make a suggestion. I agree with you that approaching the local member Gabrielle Williams is the right thing to do because at the end of the day, the State Government is probably the most powerful to enable a response to this. Whether that is creating a task force or an organisation that

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

deals with these things because what seems to happen is that we go from Council to Victoria Police, from Victoria Police to WAYSS and the problem seems to linger and never gets solved so I hope that the local member can initiate some sort of a change in that direction.

Question

Cr Bob Milkovic

An illegal shed has been erected near Cardinia Close, Dandenong North on Council land within the Police Paddocks. It has been sitting directly opposite for over a year. Can we have an update on when that illegal structure will be removed? The residents have complained and emails have been sent since I was elected.

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

I will investigate tomorrow and provide a response.

Question

Cr Bob Milkovic

Can we have an update on when the two speedhumps on McFees Road in Dandenong North will be rectified in the interest of residents?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Yes I will investigate and advise.

Question

Cr Bob Milkovic

I read a report the other day that FOGO food waste recycling facilities in Victoria are at capacity and are not taking or producing any more compost. What is the response now and what is the step forward? We have gone through the process; we have issued the kitchen caddies and people have taken them on, certainly my family has taken it on but now it seems to be the case where this is all going back to the landfill again because all the facilities are at capacity. Is there any change to that, is there any movement from the State Government and what is the next step?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I am aware of that article. That was predominantly northern and western issues. We are not facing those same issues. We are not getting any feedback from the composting services but we are very cautious of the nature of the waste industry. It does not take much for them not to be productive or efficient. We are certainly keeping an eye on that and will provide an update when we bring the Draft Waste Strategy to Council soon.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Comment

Cr Bob Milkovic

That is great to hear. I was a little bit worried that we have gone through all this process and the residents have really taken the challenge of recycling really well and now we are back to square one so thank you for that. It is great to hear that we are still on track for that.

Question

Cr Bob Milkovic

Regarding Lonsdale Street parking, what is the plan after July 1 when the parking will apparently become paid again? Current signage indicates parking is free but only until July 1 2022. What is the plan, is it going to be paid, unpaid, limited, not limited, reduced, increased? Residents are asking. They are not even sure now what is going on. The business owners would like some sort of certainty as to what is going to happen, because if the limits change or if the fees change, that will affect the business. Obviously, this is all in the light of trying to make sure that Dandenong does not go back to three or four years ago when it was quite dead. It is starting to get alive and it is getting better and better. I want to make sure that we keep the momentum of Lonsdale Street going. Is there any news on what might happen or transpire after 1 July with parking?

Response

John Bennie PSM, Chief Executive Officer

We will take that question on notice. It is an important one and we want to get the answer right. The decision that has been made by Council is that parking will be reintroduced into Lonsdale Street. That does not mean it happens from 1 July. What we want to get right, I guess, is the phasing and the reintroduction and the communications and all of the things that you have raised. Mr Bosman I am sure has a plan for how he would like to approach all of that and he is not here tonight as we know. We will get those details and we will share those with all Councillors and I think in due course, clearly, all business interests in the activity centre so it needs to be a phased and structured reintroduction and something that everyone understands and comprehends. As you have also heard, we endeavour to take an educational approach to changing parking conditions, so the last thing we want is to introduce the charge and then find that any breaches resulting in enforcement. That is something we would prefer to avoid.

Question

Cr Bob Milkovic

Can I request once that plan is formulated that we inform the local business owners. Currently, there is uncertainty as to whether parking officers patrol the time limits? I know that disabled parking spots and loading zones are patrolled and that is fair enough, and clearways and no standing zones. Businesses are really not sure what to advise their clients. As they walk in, they go, 'Well, is the parking for two hours, is it not?'. Can we somehow maybe organise one of the Council officers to inform businesses and advise what it is, so when the clients walk in to the business they can inform them.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

Yes, once we have made a final determination on the way forward, I think promotional activities including contacting business owners would be the best way forward.

Question

Cr Bob Milkovic

I was reading a Seven News report regarding the energy crisis that we know we are facing. I was wondering, what the Council have in light of these cappings on the wholesale prices of electricity and gas and coal. Many plants are apparently coming offline, putting a strain on the electricity grid. I know that is not necessarily a Council problem however, do we as a Council have some sort of emergency plan when these things happen and residents who are most vulnerable suddenly have not got any heating in their place? Is there any kind of emergency plan to help these people survive the winter, because I can tell you it is ferocious this year? I cannot remember in my 24 years in Australia that I have ever felt this cold for that many days in a row particularly with the rain. I understand we have got to go green and renewable however, we need to keep these people also from freezing. Do we lobby the State Government? Do we provide any kind of emergency contingency plan?

Response

Tilla Buden, Acting Director Community Services

Thank you for raising that really important issue and one that we take very seriously. I am sure there is more that can be done but at this stage I can advise that Council is currently sharing information with our residents on Victorian Government energy grants to assist with heating and cooling costs so that is something that is online and available. We are making sure that our residents are aware of that. As to any further matters, I will take the rest on notice.

Question

Cr Bob Milkovic

I know that we do correspond with other agencies and there are obviously reliefs and one-off payments. I am concerned about a full gas or electricity shut down for elderly residents with no family around. Do we have a plan to help these people out in the case of an emergency? Who can they contact, can they contact the Council to be forwarded onto someone else?

Response

John Bennie PSM, Chief Executive Officer

I think it is best that we take that question on notice. It is as Ms Buden said a very important question. I am most familiar with the fact that we have a heatwave plan, so in times of very hot days, we have strategies for dealing with our older citizens or senior citizens in the municipality in terms of giving them relief from the heat. I am not quite sure that we have necessarily thought about the other end of the spectrum in terms of very cold days, but I think some of the principles of that strategy could be very, very similar, hence though the need to take the question on notice to just clarify whether we are covering both extreme heat events and possibly cold events as well.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Tim Dark

I have received emails regarding the substantial number of unregistered cars being stored along Short Street in Dandenong, around through Attenborough Street and onto Bennett Street. Many are dismantled, leaking oil and it is turning into what looks like a war zone. Can planning compliance investigate with the other teams to see what options we have in terms of dealing with unregistered cars being stored either on common land on the streets or in driveways.

Response

Brett Jackson, Acting Director City Planning, Design and Amenity

Yes, there are options that we can undertake for unregistered vehicles parked on public roads. Our officers will attend on site and report back as to the way forward.

Question

Cr Tim Dark

My next question is for the Director of Community Services. It has to do with the Lawn Bowl Club leases which I have been privy to some text messages from some pretty angry residents. There has been a lot of confusion to do with the way in which Council's leases are operating with the Lawn Bowls Clubs. I am aware that there are some that are privately owned such as the Dandenong Club but those that are Council owned like Burden Park, the Keysborough Lawn Bowls Centre on Cheltenham Road which is in my Ward and the other one in Noble Park. Rent has been raised causing distress for clubs that believe that they have had to sign under duress and not being able to operate from the ground where they are. There was recently conflict as Burden Park has refused to sign their lease. Keysborough signed the lease and they are upset that they are paying substantially a lot more money per annum.

The second part to that question as well was that with the changes to the policies as well, particularly around the advertising, Keysborough Lawn Bowls Club is concerned that they are losing quite a bit of money from local community support that they have previously had which has now been outlawed. If we could please just have some information provided on that to all Councillors and a meeting organised for the Lawn Bowls Clubs?

Response

Tilla Buden, Acting Director Community Services

Thank you for raising that concern. Yes, we will arrange a meeting with the club and take the question on notice and provide you with an update.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Tim Dark

My next question is for the Director of Engineering. The Wachter Reserve boardwalk has been funded by this Council some time ago. I am aware that there have been substantial delays. Originally it was getting the pylons in and then it was supplying materials and things were being prefabricated and we have just come to a complete standstill. I am getting quite a few messages from some residents on social media given that the water level is still draining out and it is turning into a quagmire.

(1) Can we please get an update on what is going on with the delays?

(2) How much longer delays are carried out before Council looks at exercising whatever options are available under a potential contract breach?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Yes, I can certainly seek an update. I am aware of the delays with regards to the materials. It is all COVID related, it is all Ukraine War related, it is all China related. In terms of choosing an element of the contract, that is something that we would not necessarily look to if we have dates where the contractor is saying that they will meet and they will undertake the work. It will take longer if we generally cancel the contract and then have to go back out to tender. It is certainly something that I am aware of and we can certainly get some information to you in the next couple of days with regards to the timeframes and what is happening on that particular project.

Question

Cr Tim Dark

To the Director of Community Services, I received an email which was forwarded on from Steven, a member of the executive for the Keysborough Soccer Club. The realignment of the pitches has resulted in a substantial amount of balls being kicked into the canteen; spectators are being hit by balls which are being kicked around. They have put a request in to see what options are available in terms of some additional fencing installation to try and protect spectators being hit. I wanted to find out what options we may have available?

Response

Tilla Buden, Acting Director Community Services

Thank you for raising that. I believe officers have met with Steven and have been working on a solution but I will investigate and provide you with a further update on that.

Question

Cr Tim Dark

Another question to the Director of Community Services. I received some messages on Facebook Messenger of an old Facebook group, the Parkfield Reserve Group from when we very first started doing the Master Plan. There has been some correspondence about the rough drawing out of the pavilion and the clubs are confused. Can we potentially have a conversation with them in terms of the design and the timeframe for the pavilion and what is planned. I believe there has been some

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

queries about the potential for some indoor sports centres being used as part of the facility. I have some messages which I am happy to show the Director but if we could organise a meeting that would be good.

Response

Tilla Buden, Acting Director Community Services

Yes, we can arrange a meeting and we will follow that up.

Question

Cr Tim Dark

My final question is in line with what Cr Milkovic mentioned before. With the AMO alerts and the notices which have been published to do with the proposed blackouts which Sydney has just been hit over the weekend and it is expected that Victoria is going to hit very shortly. Given the businesses that use a lot of power within this municipality and are a substantial part of our economy, they employ a lot of people locally and the massive effect it could have on the Nissan casting plant of losing power and then the cost of then having to deal with that. Do we have any sort of business plan or is there any sort of conversation being had between SEBN and businesses within the City of Greater Dandenong where Council may advocate for a position to try and free up either some additional gas or power? I do know we have a substantially large gas plant down on Greens Road. I am somewhat concerned. Let us say we have a complete blackout, what then happens to industry?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

That is certainly front and centre of people in the industry throughout Melbourne and Victoria no doubt; and something that maybe SEBN would not necessarily have taken up. Certainly, SEBN would be very interested and very keen. Everyone is reading the new articles and every day there is something new on this issue. Even this morning there were some interesting issues about how energy retailers may be not necessarily telling the truth about what they have got available so that they can get compensation when they are asked to ramp out so there is a whole lot of issues out there.

I think it is something that we can certainly and perhaps even through our local member, seek some commentary with regards to that and also Julian Hill, our other Federal local member with regards to those discussions that are taking place from an industrial point of view and seek an update and some reassurance from them that matters will be taken into consideration.

Comment

Cr Jim Memeti, Mayor

I would like to congratulate Sandra George, Council's Manager of Business Networking, who was yesterday recognised with a medal of the Order of the Australia in the Queen's Birthday Honours List, for her devoted service to manufacturing and to the Greater Dandenong community.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Sandra's list of achievements in the City is quite remarkable, particularly her work with the manufacturing sector. Sandra has also helped to raise well over \$500,000 for local charities through her organisation of the Mayor's Annual Charity Golf Day.

Sandra's OAM comes in addition to her many other awards and notable accomplishments in Greater Dandenong. For that I say thank you and congratulations on this most recent and significant recognition of your wonderful work.

I attended the LGPro Awards for Excellence Dinner last week where we won an award for excellence in 2022. This was for the Waa and Bulln Bulln Corroboree at Springvale ceremonial firepit. We won that award for the First Nations community partnership during the LGPro Awards for Excellence Dinner on Thursday 2 June 2022. The ceremonial firepit, titled Waa and Bulln Bulln Corroboree, recognises the cultures of the Wurundjeri and the Bunurong Peoples of the Kulin Nation. Two large bluestone pieces accompanying the firepit symbolising First Nations Peoples ongoing connection to country and references them as the oldest living culture in the world bringing people together and will be used for permitted activations. In accordance with this intended goal of being an artwork which was translated as knowledge held by both Bunurong and Wurundjeri, the artist Fiona Clarke and Ken McKean created the artwork in collaboration with both groups. The project was significant in bringing the two Land Councils together to work on a common piece alongside Council. The project has created an ongoing partnership with the local traditional owners and the Bunurong Land Council.

Some of the other functions that I attended are:

I attended the City of Greater Dandenong Reconciliation Week celebrations with the school children. It was great to have them at the Bulln Bulln Corroboree which was a lovely ceremony we had and also in the afternoon we had plenty of activities for our youth.

I also attended the WASEMA Friendship Café celebrations, who opened I think about nine cafés within the south-eastern suburbs. The women there do a fantastic job and Council has supported them in the past.

I also attended the Buddhist Flower Ceremony fundraiser for the Monash Health Foundation's eight hospitals organised by Cr Lim and the Cambodian community. Another successful event. I think Cr Lim said over \$150,000 was raised but the ongoing contribution from the Cambodian community is up to about \$700,000. Congratulations to the Cambodian community.

I also attended the 14th Anniversary of the Vietnamese Freedom Day Club at the RSL in Dandenong which is always very pleasant to visit the Freedom Day Club.

I also attended the opening of the new TIV Construction training centre. As the Deputy Mayor said before, this is a training facility for females and males. It was good to see there were three females who wanted to become carpenters. They were very passionate and I think they were better than the boys so girls can do exactly what the boys can do.

I also attended the Hemmings Street tree removal community consultation which was great to see that Council and the community can come together to talk about the trees – 71 trees. Council officers are reporting back to Council soon and we can then go and speak to the community on that. I think that was great progress by Council.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

I also attended the 8th International Day of Yoga and Wellness Walk which was fantastic. I had never done yoga before. I had a mat and everybody attended Harmony Square. It was great to do the stretches which I think was not that hard. Normally it is better than running. I encourage people to take up yoga because it is pretty easy and it makes you feel good once you finish.

I also attended the Walk of Unity in Faith in Dandenong. It was great to meet up with all the local churches in Dandenong and do a walk. They prayed for Councillors and Council officers and the people of Greater Dandenong. It was great to be part of that walk as well.

I also visited the Keysborough Gardens Primary School with Cr Garad. It was education on composting and it was good to see the children get their hands dirty and also Cr Garad and myself had to dip our hands in and help the kids. It was a great way to educate young kids in composting.

One of the things I enjoy are the citizenship ceremonies so it was great to have a citizenship ceremony again last fortnight.

I also attended the Rotary Club of Springvale City, the unveiling of the Rotary International Peace Pole at Killester College which was great to visit Killester College and have that Peace Pole in their front yard. It was great to meet up with students there as well.

I also attended the Tauvu Day celebrations organised by the Fijian community where 14 provinces of Fiji came together to celebrate Fijian people but also Australian people together. That was great to visit them.

John Bennie PSM, Chief Executive Officer tabled a listing of responses to questions taken on notice/requiring further action at the previous Council meeting. A copy of the responses is provided as an attachment.

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

COUNCILLOR QUESTIONS TAKEN ON NOTICE/REQUIRING FURTHER ACTION

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT1	Cr Tim Dark	<p>Crowding, noise and damage at Alex Corrigan Reserve, Keysborough. My first question is from a resident of my Ward regarding the Alan Corrigan Reserve, which I have previously raised. There has been a significant amount of people turning up to play netball or volleyball in the middle of the Reserve and the crowd keeps accumulating over time. Many residents nearby are raising concerns regarding noise and rubbish and activities are occurring earlier in the morning. I believe it was sent to the Community Services Director to investigate. Can I have an update? I have another resident raising concerns about the amount of noise and the damage done to the Reserve.</p>	Director Business, Engineering & Major Projects / Director City Planning, Design & Amenity	03/06/2022	<p>Initial responses provided 23/05/22: Officers will investigate and advise.</p> <p>Further response provided 03/06/22: Council's Parks and Local Laws teams are working together to address the residents' concerns on this matter. The challenge has been to find the right balance between allowing informal community groups such as this to gather and use a public reserve as intended, without adversely impacting nearby residents and parks users or causing damage to the grass through overuse.</p> <p>Council officers have met with the group of volleyball players who have now applied for a casual park booking. The booking restricts their volleyball activities to between 4-6pm each day with a maximum number of 20 participants. The permit is valid until 31 December and its effectiveness will be reviewed beyond that.</p> <p>It is hoped that limiting the hours and number of participants will have a positive effect on the current noise, rubbish and overuse issues. Council officers will periodically visit the</p>

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT3	Cr Bob Milkovic	<p>Fencing around courts at Tirhatuan Park, Dandenong North I want to thank everyone on delivering Stage One of the basketball courts in Tirhatuan Park. People have been putting it to good use. I do have a question regarding the netball ring on one side. The fence is quite low and stray balls can easily end up on other courts. Can a net be installed to prevent this? It is a big court and a big walk to retrieve balls so it makes the court hard to use at times.</p>	Director Business, Engineering & Major Projects	01/06/22	<p>Reserve to check the group is complying with the conditions of their casual park booking and monitor its effectiveness. Additionally, Parks staff will repair the damaged grass in the Spring planting season when the grass is no longer dormant and is in active growth.</p> <p style="text-align: right;">COMPLETED</p> <p>Initial responses provided 23/05/22: I will take that question on notice.</p> <p>Further response provided 01/06/22: In response to your question about the fence height at the courts in Tirhatuan Park I can advise that Council officers have reviewed the fence height and agree that the fence should be higher to improve the functionality of this sporting facility. Accordingly, the fence height will be raised in the area behind the <i>goal shooting</i> key area. The works are expected to be completed within the next 4-5 weeks.</p>
23/05/22 CQT4	Cr Bob Milkovic	<p>Screens installed at Brady Road, Dandenong North I want to thank the officers and contractors involved in installing the screens at the Brady Road shops. The only question I have regarding those is that I thought that these screens would be similar to what</p>	Director Business, Engineering & Major Projects	30/05/22	<p style="text-align: right;">COMPLETED</p> <p>Initial responses provided 23/05/22: That level of detail I am not aware of. It may well be that we have run through all of the more permanent style of barriers because the State funds have lapsed and we have run out. I will ask Mr</p>

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		<p>is installed in central Dandenong, the glass screens with stainless steel poles. The screens are steel, however, there is half an advertisement for the shop on the bottom and the top is a transparent screen quite susceptible to damage. Is that what was planned originally?</p>			<p>Van Boxtel to investigate. It may be that is the type we are now using in the later circumstances pending more funding from the State Government.</p> <p>Further response provided 30/05/22: Yes the installation is as planned. Our outdoor dining program included two styles of fixed café screens (1) "Glass Screens" for activity centres and (2) "Style 8 – clear pvc top panel with vinyl advertising bottom panel" for neighbourhood centres. The proposed screens were discussed with the businesses prior to their installation. The alternative screens provide increased advertising opportunity for local shops and the cost savings allow more installations to be implemented. They are considered durable and should adequately meet the needs to each local neighbourhood business.</p> <p style="text-align: center;">COMPLETED</p>
23/05/22 CQT5	Cr Bob Milkovic	<p>Update on toilets at Brady Road, Dandenong North Can I receive an update regarding when work will commence on the public toilets on Brady Road? Did the tender happen?</p>	Director Business, Engineering & Major Projects	30/05/22	<p>Initial responses provided 23/05/22: I will take that question on notice.</p> <p>Further response provided 30/05/22:</p>

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT6	Cr Bob Milkovic	<p>Increase in parking patrols at Rosewood Downs Primary, Dandenong North Could I please ask the relevant officer to increase the patrols at Rosewood Downs Primary School? There are issues there with parking. People are parking in two minute parking spots and leaving their cars. I think people need reminding to be courteous as everyone needs to drop off and pick up their children safely. Some parents tend to forget so if officers can patrol the area frequently providing a reminder for everyone to be safe.</p>	Director City Planning, Design & Amenity	30/05/22	<p>With regard to progress on the toilet construction at the Brady Road shops I can advise that with the recent appointment of the contractor a site establishment meeting will be held this week with physical works to commence within the fortnight. After this initial meeting the adjacent traders will be notified of the impending works and the related timing. Subject to any supply issues completion is being aimed for by the end of September.</p> <p style="text-align: center;">COMPLETED</p>
		<p>Increase in parking patrols at Rosewood Downs Primary, Dandenong North Could I please ask the relevant officer to increase the patrols at Rosewood Downs Primary School? There are issues there with parking. People are parking in two minute parking spots and leaving their cars. I think people need reminding to be courteous as everyone needs to drop off and pick up their children safely. Some parents tend to forget so if officers can patrol the area frequently providing a reminder for everyone to be safe.</p>	Director City Planning, Design & Amenity	30/05/22	<p>Initial responses provided 23/05/22: That has been noted and we will increase patrols in the area around Rosewood Downs Primary School.</p> <p>Further response provided 30/05/22: Following on from the above I can advise that in the course of the week following the Council meeting on 23rd May 2022 (i.e. 24th – 27th May 2022) Parking Management Officers have conducted a blitz of Murray Road, that 12 infringements have been issued over this period for a spread of offences including parking in disability bays and stopping in no stopping areas.</p>

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT7	Cr Sophie Tan	<p>Update on Sport Pavilion at Ross Reserve, Noble Park My first question is regarding the Ross Reserve Sport Pavilion. I met with the Noble Park Junior Football Club over the weekend. They were informed the project would be completed late this month.</p> <p>Could I please get an update of this project as it does not look like the project will be completed in time?</p>	Director Business, Engineering & Major Projects	30/05/22	<p>Increased random monitoring of this crossing by both Local Laws Officers and Parking Management Officers will continue.</p> <p style="text-align: center;">COMPLETED</p> <p>Initial responses provided 23/05/22: I can find out the exact date of completion of that project and advise you.</p> <p>Further response provided 30/05/22: Further to your enquiry about progress of the Ross Reserve Pavilion project I can advise as follows. Internal mechanical works and electrical equipment placement continues along with drainage works which is in progress. The door frame installation is underway despite limits to supply and the face brickwork installation continues. The carpark works are on hold while some conflicts with tree roots are resolved. The concrete footings for the building apron and the ramp to synthetic pitch have commenced.</p> <p>An August completion date is still being pursued but this is becoming more challenging due to supply issues of both international and local materials.</p> <p style="text-align: center;">COMPLETED</p>

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT8	Cr Sophie Tan	<p>Access issues at CFA Noble Park & Timing</p> <p>This is a follow up question relating to the Country Fire Authority Noble Park. They have had issues with entry and access of their fire trucks to roads, especially small roads and streets like Knox Street, Noble Park. When there are two cars parked on both sides of the street, it is very difficult for the trucks to go in and out. Can the relevant officer investigate further and give an update on what is going to be done and when?</p>	Director Business, Engineering & Major Projects	31/05/22	<p>Initial responses provided 23/05/22:</p> <p>I am aware of the issue in that question. I have asked Lucas and his team in the Transport Area to meet with the Country Fire Department to talk through those issues. They have been raised previously and I have asked Lucas to have another look at those.</p> <p>The timing would depend on when the meeting is.</p> <p>Further response provided 31/05/22:</p> <p>Our traffic engineers spoke with Mr Fitzpatrick from the CFA to discuss these matters, which relate to a number of things including illegal parking over their accessway.</p> <p>They advised the matters seemed to have improved a bit recently, potentially as a result of increased parking enforcement.</p> <p>The matter of whether extending the Keep Clear would be beneficial was discussed with Mr Fitzpatrick. Extending the Keep Clear has potential (<i>and is likely</i>) to increase congestion rather than assist. An extension would have a low likelihood of addressing the matter of parking since parking is illegal anyway, and therefore changes to the Keep Clear are not supported at</p>

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT9	Cr Richard Lim OAM	<p>Vandalism at Disabled Toilet, Number 8 Car Park My first question is how we can handle the disabled toilet? They have been vandalised very frequently. I feel sorry for the Council because it is costly to fix. Are there any solutions to stop vandalism of our disabled toilets? Specifically, at the Number 8, Balmoral Avenue Car Park, Springvale.</p>	Director Business, Engineering & Major Projects	30/05/2022	<p>this time. Our officers will continue to work with the CFA to ensure that parking enforcement in the area is aware of illegal parking over the CFA driveway, and targeted when possible. The CFA now have direct contact details for our traffic engineers, which should enable them to raise any specific matters in other streets directly.</p> <p style="text-align: center;">COMPLETED</p> <p>Initial responses provided 23/05/22: Currently we have a security guard posted in that location. It is always difficult though when it comes to acts of vandalism, to have full coverage 24 hours a day. Unfortunately, we would ask community members not to do that, it does cost our community considerably if they do damage those facilities. I will investigate with regards to CCTV cameras whether we have enough cameras outside of the toilet, of course you cannot have cameras anywhere near inside.</p> <p>Further response provided 30/05/22: I can add to that response that there is no CCTV in place to cover the</p>

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT11	Cr Richard Lim OAM	<p>Homelessness issues in Springvale We have an issue in many Wards regarding homeless people being more active. The police have worked hard to help me. However, sometimes we have no other solution as police have a shortage of staff. The police informed me that they are not only in charge of Springvale, but they cover other areas as far as Rowville. We need more police to patrol Springvale frequently. Are there any other solutions regarding homeless people?</p>	Director Community Services	06/06/2022	<p>toilet entrance. COMPLETED</p> <p>Initial responses provided 23/05/22: I will arrange for the relevant officers to meet with you directly to discuss that further.</p> <p>Further response provided: Council officers meet with Cr Lim on 6 June 2022 to discuss this matter. COMPLETED</p>
23/05/22 CQT13	Cr Rhonda Garad	<p>Timeframe of costing for single storey concept plan for DCH Regarding the timing of the costing for the single-story Concept Plan for the Dandenong Community Hub which was due this week, was not quite clear. Is that still on track? Can we have a specific time frame when that will be?</p>	Director Community Services	08/08/2022	<p>Initial responses provided 23/05/22: That work is still underway and it will be coming back to Council as soon as it is ready. It is not ready this week.</p> <p>I cannot recall the date scheduled so I will take that question on notice and advise.</p> <p>Further response provided 08/06/22: Council has requested additional concept plans for the Dandenong Community Hub be developed featuring alternative layouts to the concept plan released for public comment in 2021. This work</p>

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQ.T21	Cr Egen Foster	<p>Dunblane Road, Noble Park used as thoroughfare I have brought to Council's attention some concern on Dunblane Road in Noble Park. It is being utilised as a thoroughfare between Heatherton Road and Princes Hwy. I would like an update on this matter?</p>	Director Business, Engineering & Major Projects	24/05/2022	<p>includes the detailed cost analysis of all layouts in order to gain an understanding of the expected cost of all options being considered. The timeframe for delivery of this work has been adjusted accordingly and is currently expected to return for Council review in September 2022.</p> <p>COMPLETED</p> <p>Initial responses provided 23/05/22: I will follow up with the traffic team and provide a response. Apologies if it has been sitting with us for some time.</p> <p>Further response provided 24/05/22: I refer to the question you raised at last night's Council meeting as well as previous correspondence regarding traffic data collection activities on Dunblane Road and consideration for additional treatments within Council's Local Area Traffic Management (LATM) program. In this regard, I'm pleased to provide the following update: As you may be aware, new traffic speed and volume data was collected at various locations along Dunblane Road in late March 2022. This new data was compared to data collected in earlier years and was</p>

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
23/05/22 CQT24	Cr Eden Foster	Anti-social activity in Laneway parallel to Ian Street, Noble Park	Director Business,	01/06/22	<p>used to update the entry within the LATM priority program.</p> <p>The updated data identified both speeds and volumes had slightly reduced from previous years. Specifically, the 85th percentile speed (<i>the speed at which 85% of the traffic is travelling at or below</i>) was below 50km/h at each of the data collection sites.</p> <p>Whilst there may be a small element of drivers who are travelling at inappropriate speeds, the results identify the majority of traffic is travelling at speeds which are appropriate for the local context.</p> <p>Additionally, the new data was used to update the Dunblane Road entry within the LATM program.</p> <p>Previously it was ranked well outside of the top 20 sites and the new assessment has not resulted in any increase in priority. As such, unless there's a significant change in driver behaviour in the short term, further traffic calming treatments along Dunblane Road are not likely to be delivered via the LATM program within the next 5 years.</p> <p>Thank you for raising this matter and I trust the above information assists.</p>
<p>COMPLETED</p> <p>Initial responses provided 23/05/22:</p>					

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		<p>Another issue has come up with regards to the laneway that runs parallel to lan Street. This particular laneway is not lit at all and some unsavoury happenings occur in that laneway. It is right next to the Yooralla Disability Services. As part of the streetscape that you refer to are we able to look at addressing the concerns that are present in that laneway and making it more pleasing to the eye as well?</p>	<p>Engineering & Major Projects</p>		<p>I will take that question on notice and see if it is in the design. The website is now telling me construction is June-July this year. Those street works are imminent.</p> <p>Further response provided 01/06/22: The unnamed laneway (service lane) that runs parallel to lan Street and alongside Yooralla Disability Services is not within the current scope of the lan Street Revitalisation Project. Officers are currently liaising with the Office of Suburban Development and the Noble Park Revitalisation Board to determine suitable projects for funding this financial year, it is our intention to ensure several laneways within Noble Park will be considered for future upgrades, including this specific service lane. We will provide you with a further update on our funding enquiries to upgrade this service lane when determined.</p> <p>COMPLETED</p>
<p>23/05/22 CQT25</p>	<p>Cr Sean O'Reilly</p>	<p>Skip bin/rubbish around charity bin at Entrance to Sandown Park train station at Lightwood Road A resident has brought to my attention a situation regarding Sandown train station. The station entrance at Lightwood Road has a couple of issues that I would like to ask the Director of Planning.</p>	<p>Director City Planning, Design & Amenity</p>	<p>30/05/22</p>	<p>Initial responses provided 23/05/22: think the charities themselves are as frustrated as you and I are about how their charity bins are abused for the purpose of simply dumping rubbish. We know that it is costing the agencies. They are spending millions of dollars each</p>

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Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		<p>The first one is that apparently there is a large skip bin positioned there, partially full and has been there for several months and it is not apparent as to why it is still there. We want to keep things clean and tidy and have pride in where we live. I would appreciate if the Council could make some enquiries as to what the purpose of that skip was or is.</p> <p>The second part is nearby, Lightwood Road, Sandown train station entrance, there are charity donation bins. Around the bins there is rubbish on the ground and these donation bins tend to attract rubbish because they get full and people just decide they will just put their donations on the foot path. Does Council check for rubbish around these donation bins with regularity? I acknowledge that the charities have good intentions and do good work. However, the charity should be responsible for any amenity impacts of their donation bins and within reason making sure that the donation bins are emptied regularly and not kept full. Regarding these donation bins, what powers does Council have? Did we grant them a permit? If they do not clean up around their bin can we revoke their permit?</p>			<p>year of that money that would otherwise go to social good. Spending millions of dollars a year disposing of rubbish that has been dumped as rubbish. Some of these sites have CCTV and we have had success in recent times of identifying many dumpers and have prosecuted them for dumping outside collection points. It is a requirement that those bins are cleaned and cleared and attended to regularly and we have an ongoing discussion these agencies. I also recall this one at Sandown as being on VicTrack land and not on land that we have got any jurisdiction over. Nonetheless, I will follow up and see if we can get that tidied up. We do have an ongoing consultation with and through our local laws team. Most of them operate well enough and where those bins are not being looked after we require them to be removed.</p> <p>Further response provided 30/05/22: Following on from the above contact has been made with representatives of the Vic Track land on which the bins are located. We were advised that due to recent works completed on the land (rail upgrades) the bins have been relocated to this current location to allow for emptying. The</p>

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

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6 REPORTS FROM COUNCILLORS/DELEGATED MEMBERS AND COUNCILLORS' QUESTIONS (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
					<p>bins are emptied every second day and we have suggested they place a lock on the bins to stop other parties utilising the bins with rubbish not associated with the land.</p> <p>Tuesday 24th May Council's cleansing staff cleaned up the mess on the ground around the dumpster. Council's Local Law have done subsequent spot checks of the site and no offences were detected, and they will continue more frequent inspections to ensure compliance. The most recent inspection was undertaken on 27th May 2022 and the area was clear of rubbish.</p> <p>We are still talking to Vic Tracks and hope for more answers/discussions in the week ahead to find a more permanent solution to the situation.</p>

COMPLETED

At the Ordinary meeting of Council on Monday, 24 March 2014, Council resolved to change the way Councillors and Public questions taken on notice are answered and recorded from 14 April 2014 meeting of Council onwards.

7 URGENT BUSINESS

No urgent business was considered.

The meeting closed at 8.25 PM.

Confirmed: / /
